

COORDINATION			
<div></div>	Preliminary Design	<div></div>	Building Upgrade
<div></div>	Planning Submitted	<div></div>	Building Control Sing off
<div></div>	Planning Granted	<div></div>	Thames Water

NOTE:

- The general contractor is responsible for the verification of all dimensions on site and shall inform the contract surveyor of any discrepancies.
- Do not scale from this drawing. Use figure dimension only.
- Existing foundations, lintels and wall to be exposed if required by building control for assessment and upgrading if found inadequate.
- Drawings copyright of Great West Design Ltd. Drawings to be used for stated purpose only.
- Note all drawings to be read in conjunction with engineers drawings.
- If there are any queries contractor to contact surveyor/mediately.
- All stair dimensions are to be confirmed by installer prior to installation and any discrepancies to be brought to the attention of the surveyor.
- This drawing is for negotiations with the Local Authority Planning & Building Control departments.
- In the event that it is used for construction then the builder is responsible for checking on site all dimensions and relevant information prior to the commencement of works to ensure the accuracy of any information contained in the drawing. Any discrepancy must be notified before work commences.
- The drawing may only be used for the address shown and may not be copied without permission. These drawing are Copyright controlled.
- The final position of all walls and projections in relation to boundary must be agreed between building owners prior to any works carried out on site.
- All boundaries shown on the drawings are for illustration purposes only.
- All developments must comply with planning permissions and planning conditions approved by local authority

NOTE: ALL FINAL LAYOUTS ARE TO BE AGREED BETWEEN THE CLIENT AND THE CONTRACTOR PRIOR TO WORKS STARTING ON SITE. THE POSITION, TYPE, MAKE AND STYLE OF MATERIALS ARE FOR ILLUSTRATION PURPOSES ONLY

NOTE: THIS DRAWING TO BE
READ IN CONJUNCTION WITH
ENGINEERS CALCULATIONS AND
SPECIFICATION

**DRAWINGS TO BE
APPROVED BY BUILDING CONTROL
DEPARTMENT PRIORTO WORKS
COMMENCING ON SITE**



REAR



REAR

DESIGN TEAM

OWNER:
NAME: Chris Frisk
ADDRESS: 74 Connaught Road Teddington
TW11 0PX

ARCHITECT:
NAME: Great West Design
ADDRESS: 30 Heath Road, Twickenham, Tw1 4bz

LAND SURVEYOR:
FIRM
ADDRESS
TEL

STRUCTURAL ENGINEER:
NAME: Great West Design
ADDRESS: 30 Heath Road, Twickenham, Tw1 4bz

ENGINEER:
FIRM
ADDRESS

GEOTECHNICAL ENGINEER:
FIRM
ADDRESS

PROJECT DATA

BUILDING AREA:

AREA:

SITE COVERAGE:

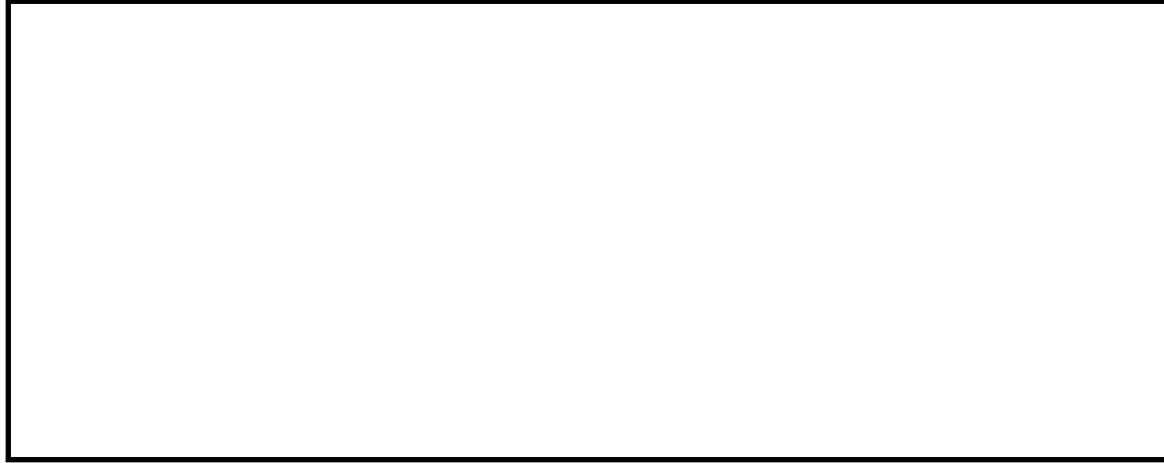
PARCEL AREA:

TOTAL IMPERVIOUS COVERAGE:
TOTAL ALLOWABLE IMPERVIOUS COVERAGE:

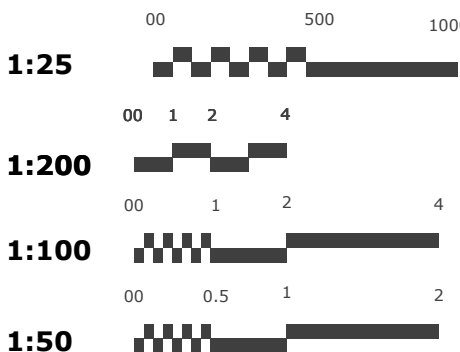
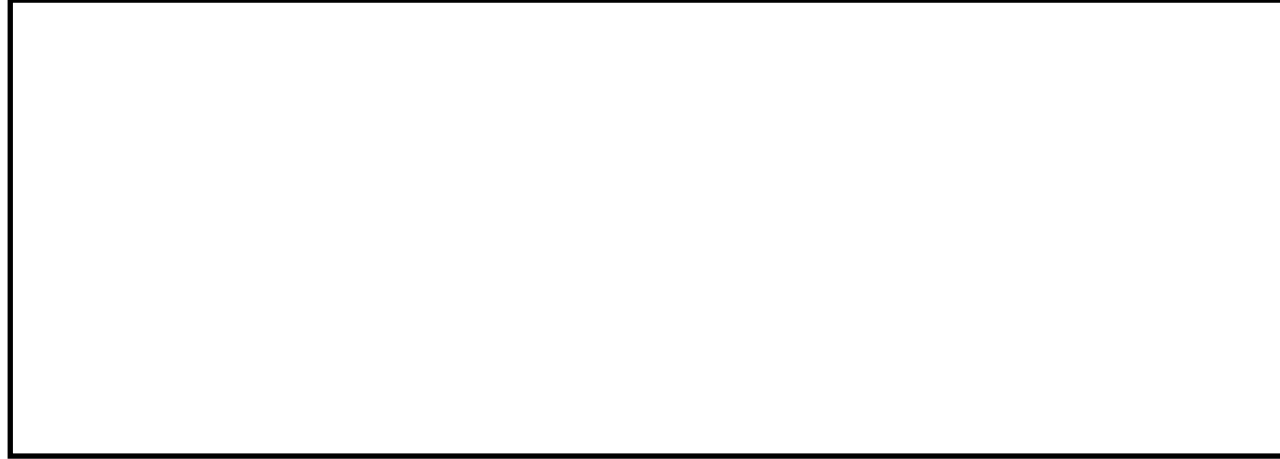
CONSTRUCTION SUMMARY:

CONSTRUCTION TYPE:

SITE PHOTO



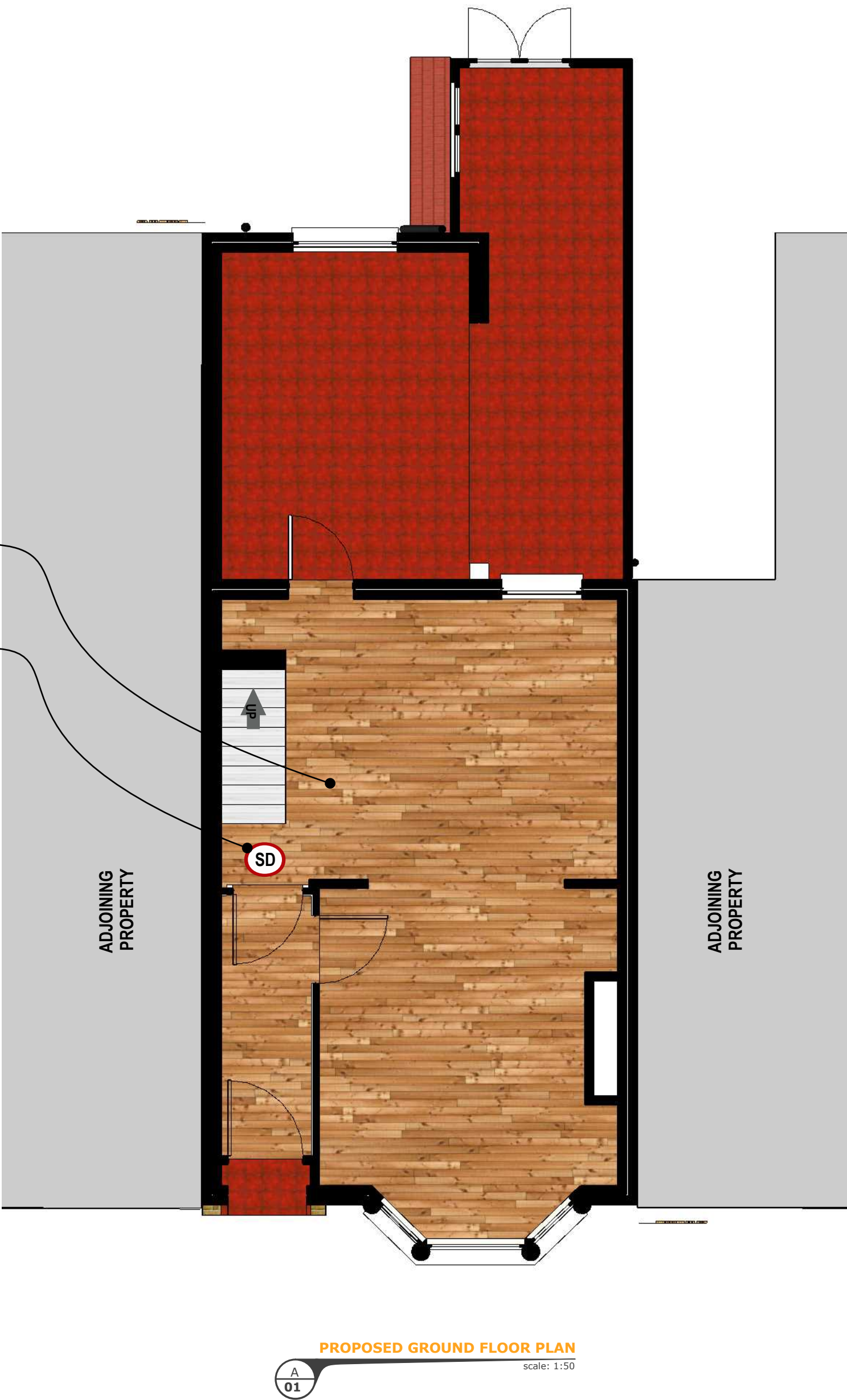
SITE MAP





New stud partition walls
130mm wide with 1/2 fire
rating. Although not shown
on this drawing, layout takes
into account proposed rear
ground floor extension layout
and new stud wall, see proposed
rear ground floor extension drawings

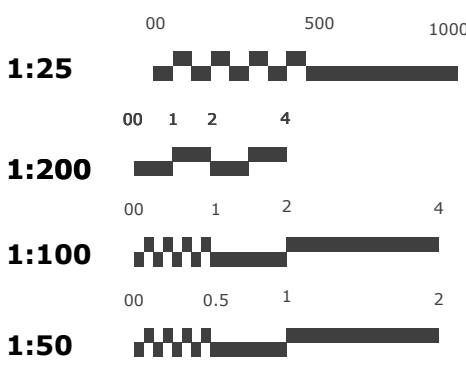
Provide mains operated interlinked smoke
detectors on a single supply electrical circuit
with battery back up at the ground, first and
second floor levels within the staircase enclosure

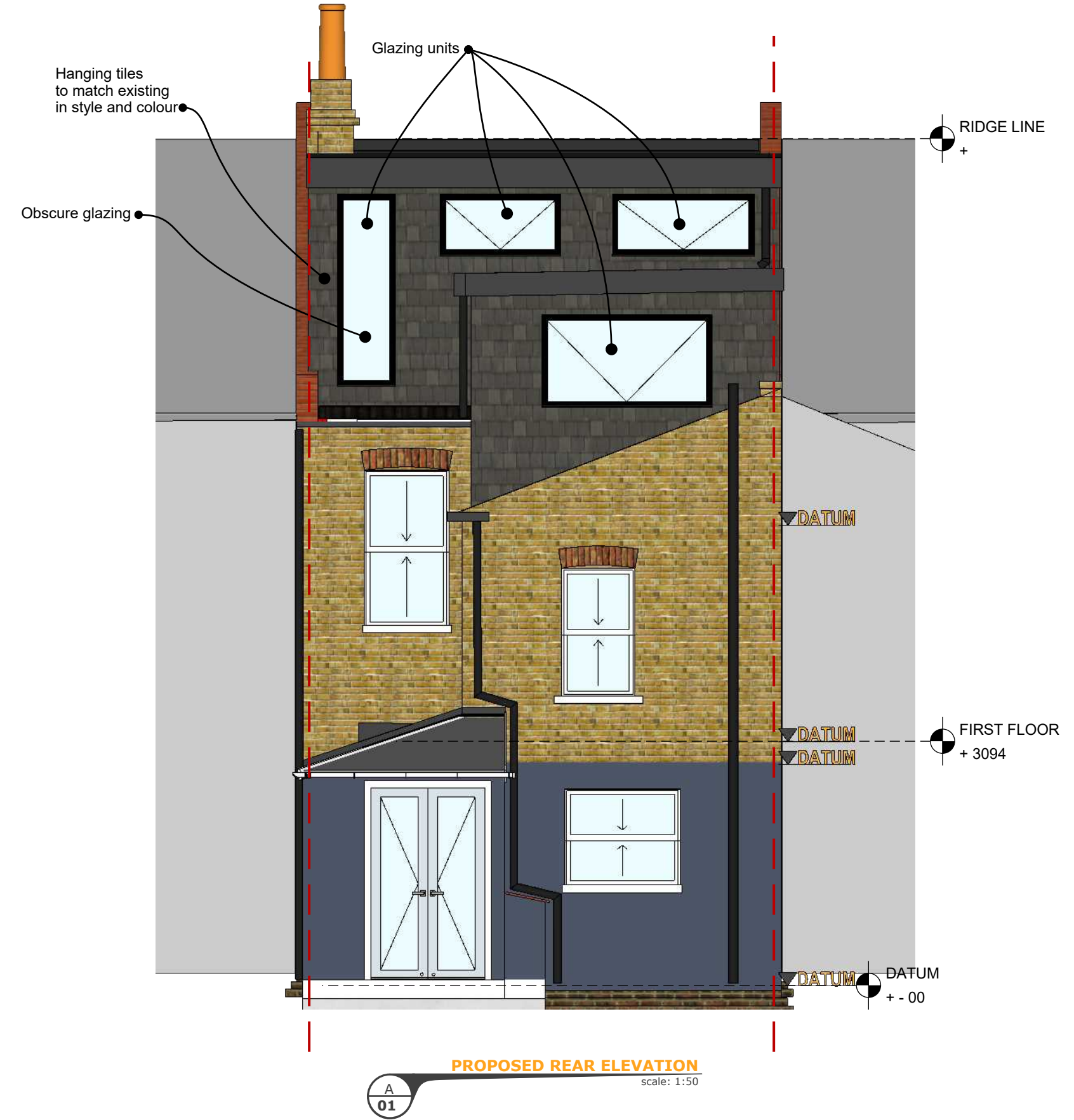
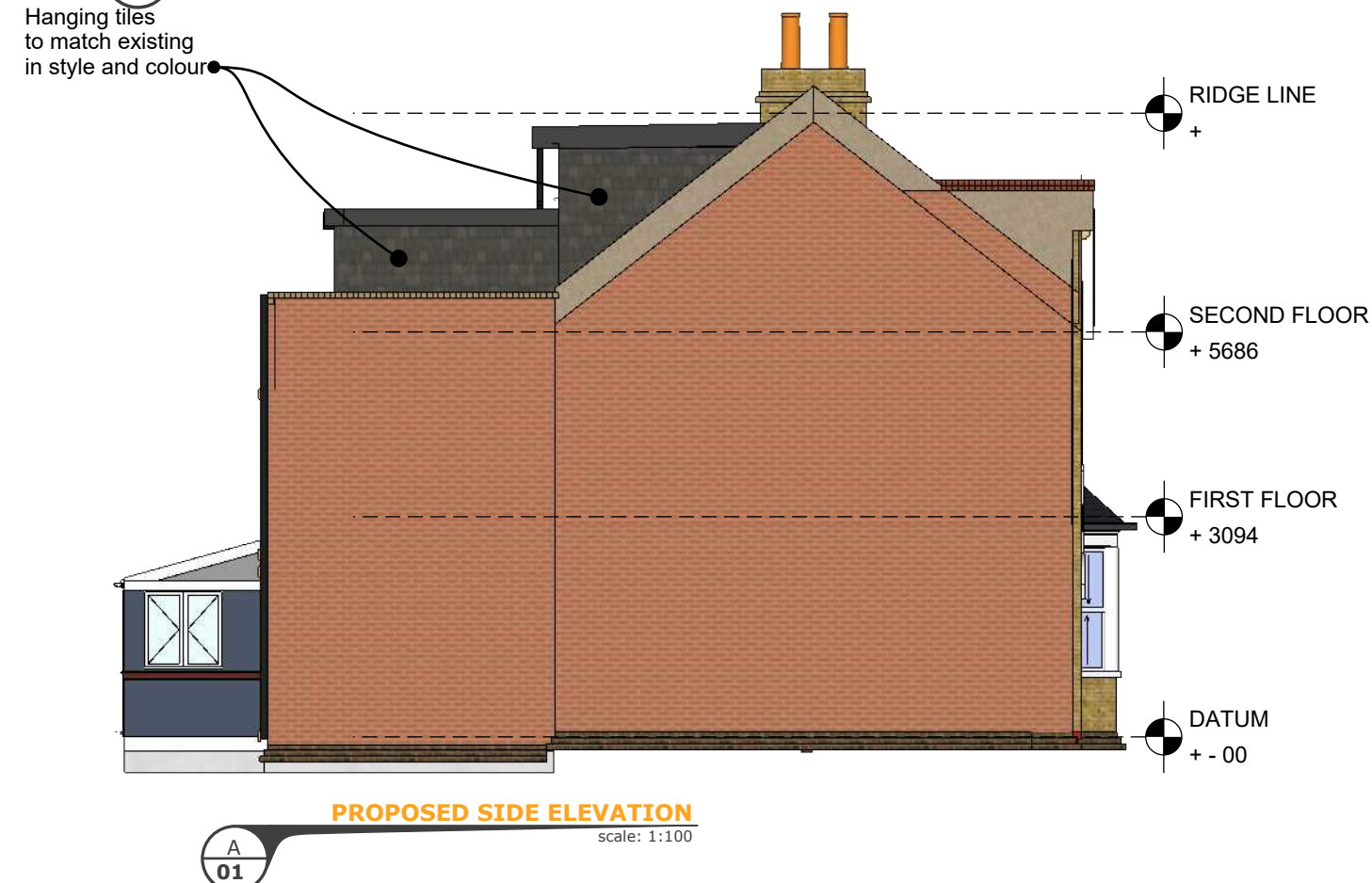
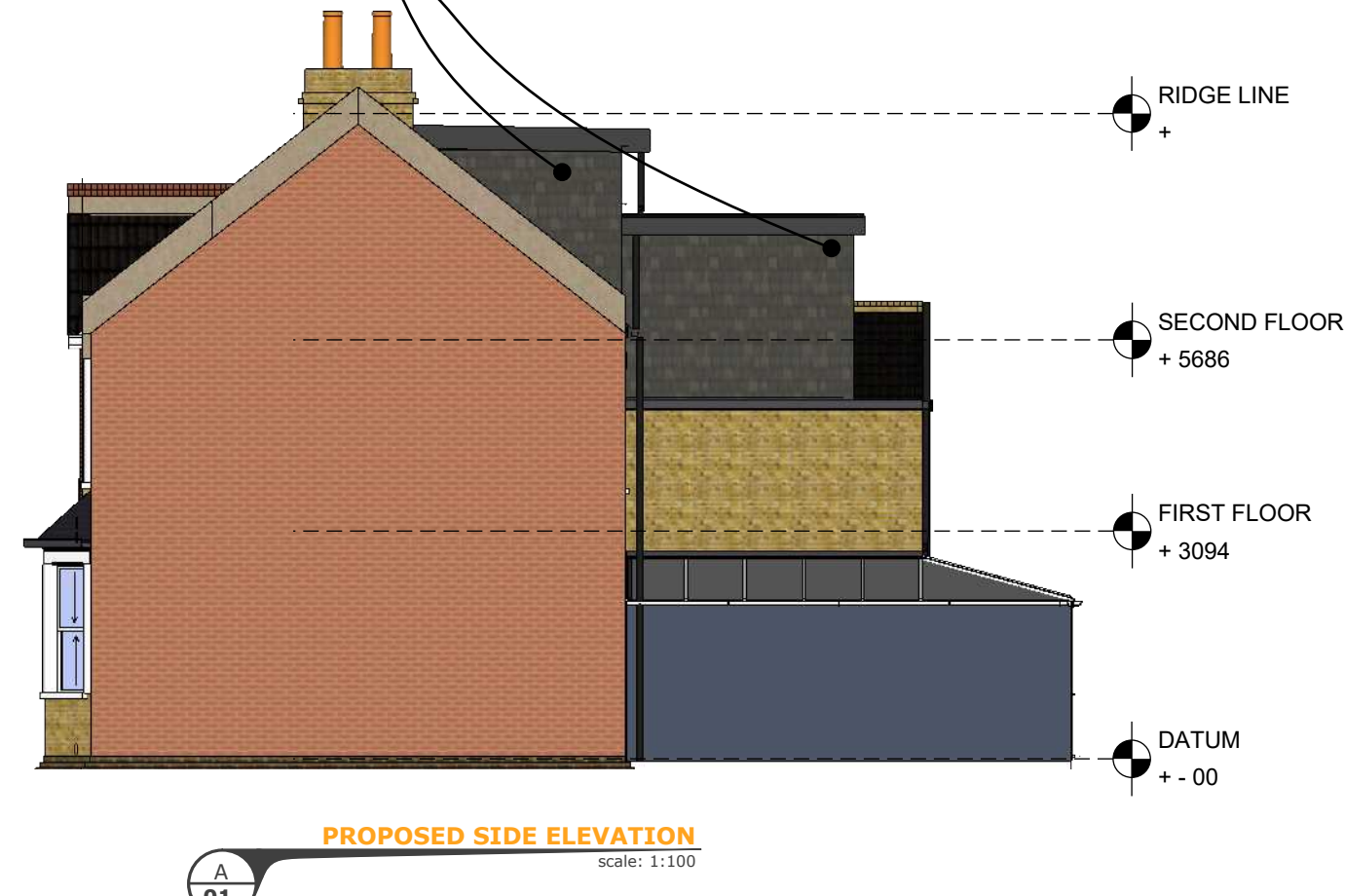
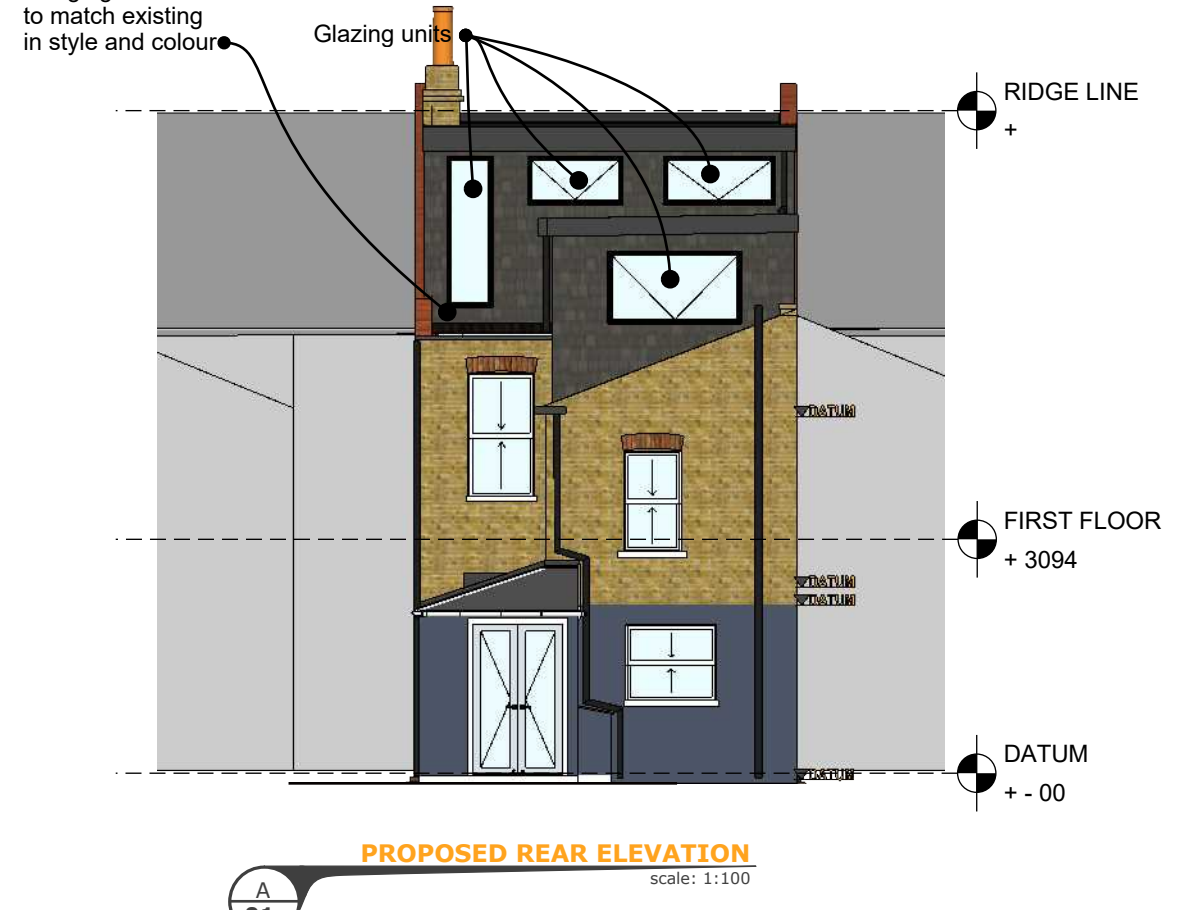
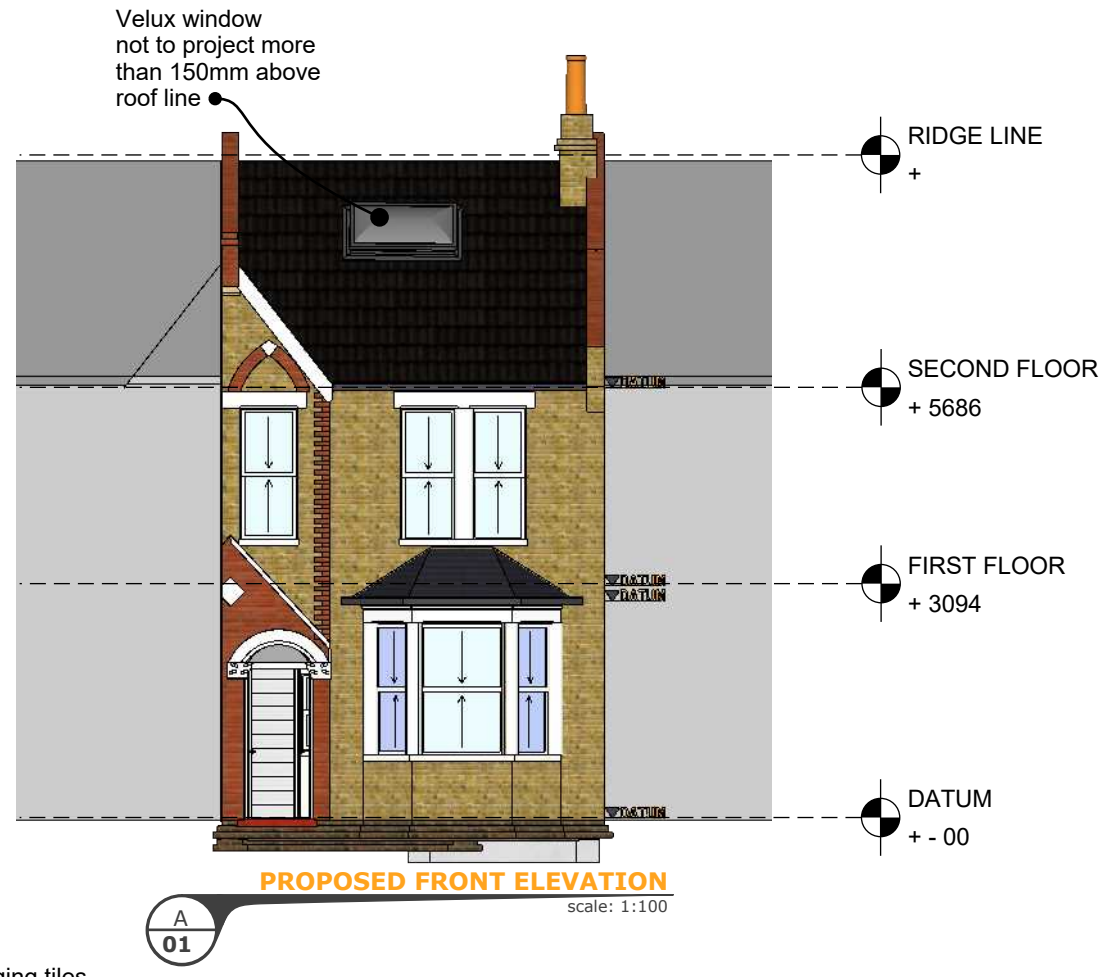
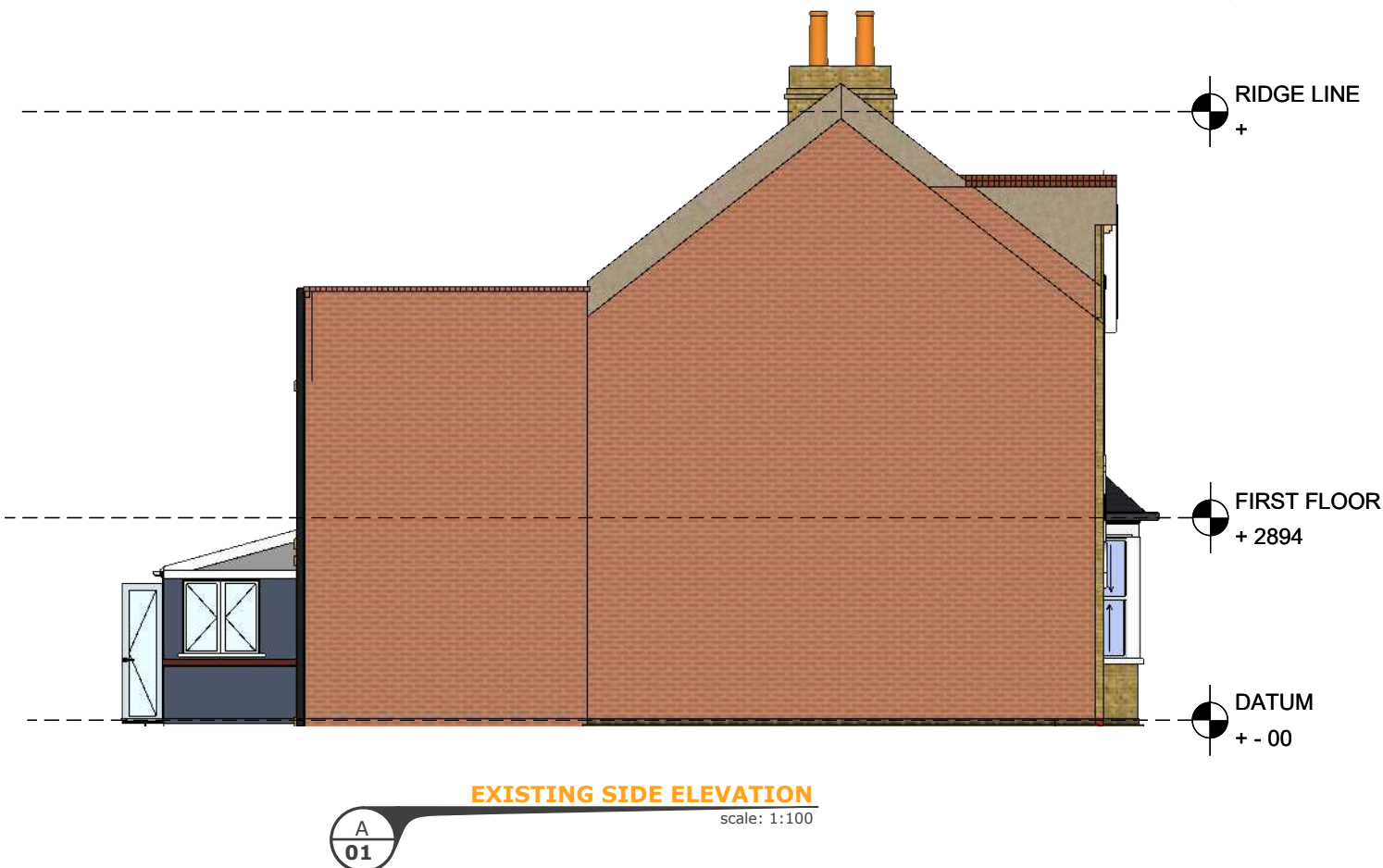
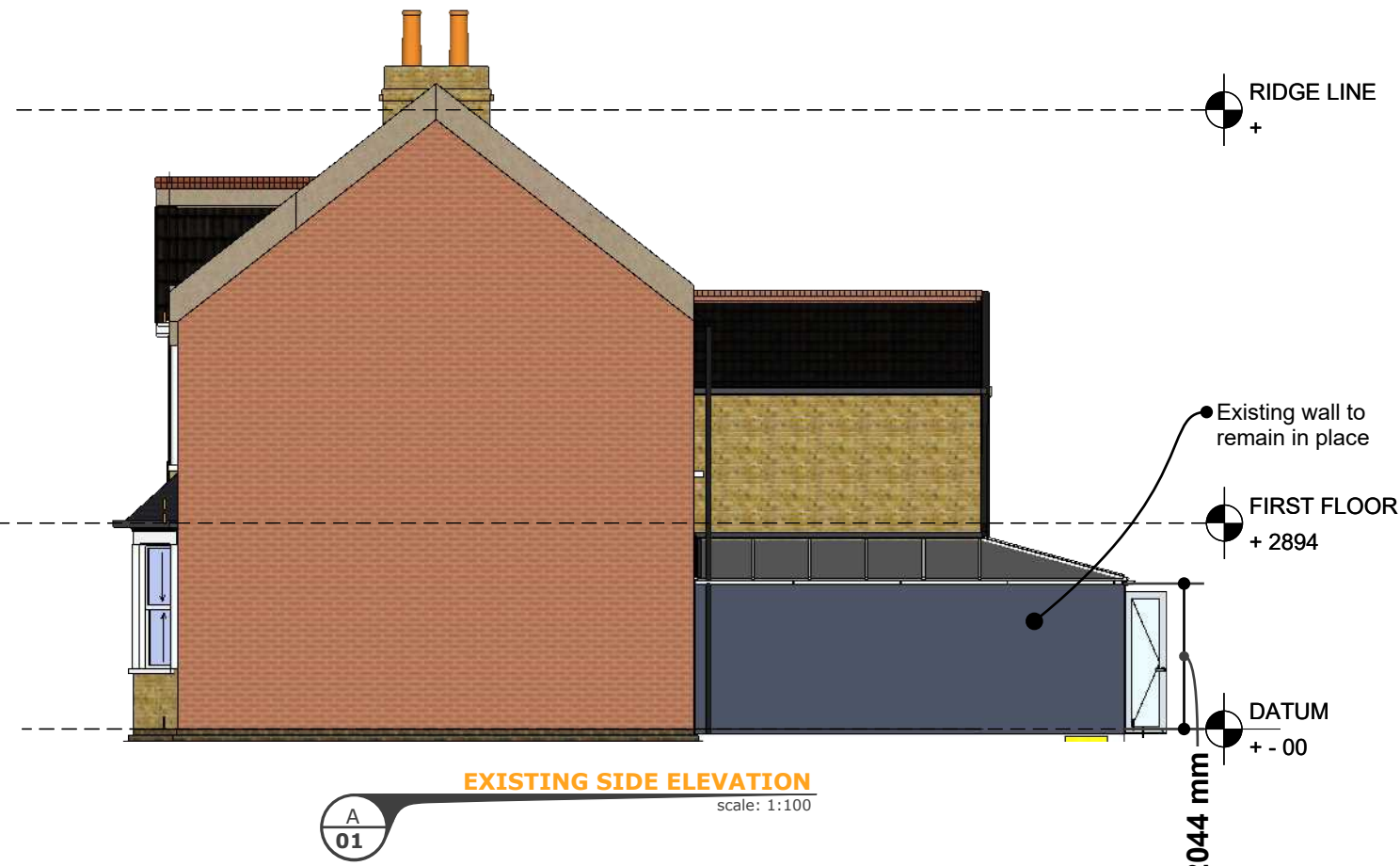
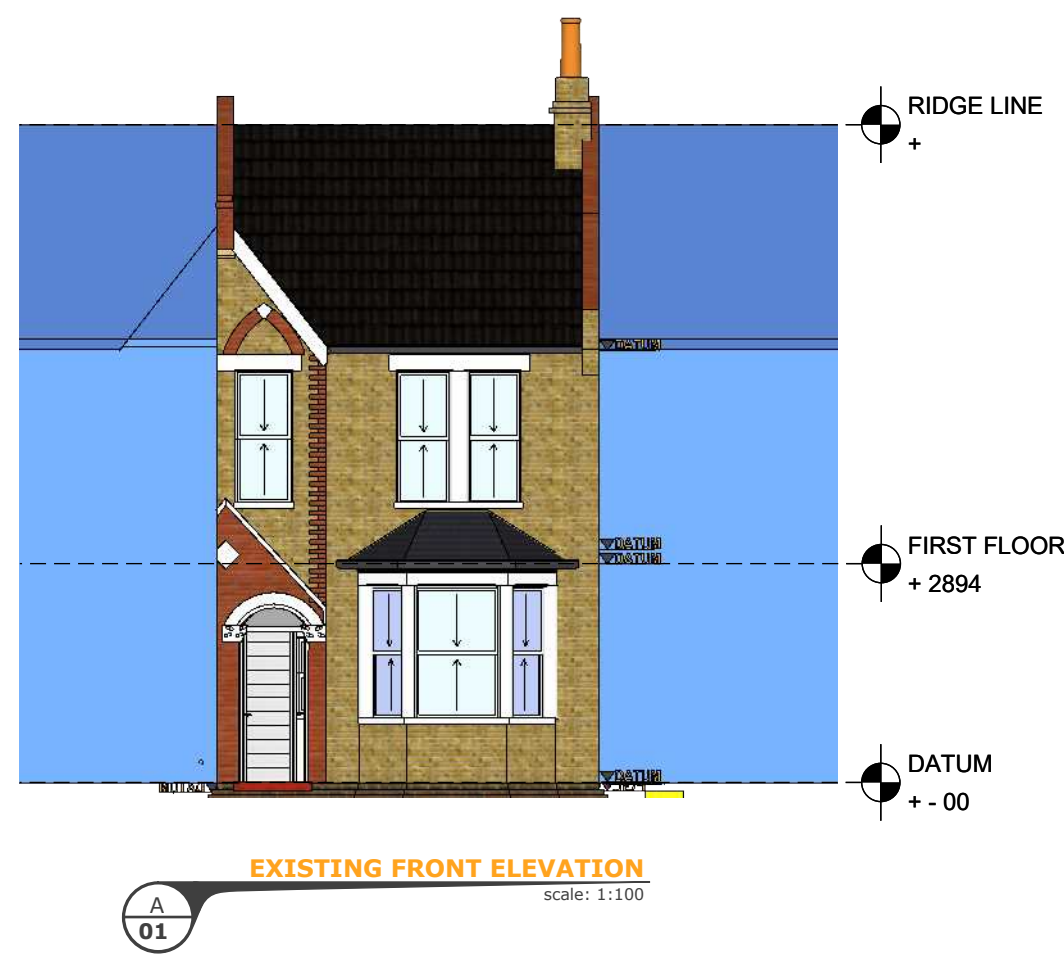


Provide mains operated interlinked smoke
detectors on a single supply electrical circuit
with battery back up at the ground, first and
second floor levels within the staircase enclosure



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<input checked="" type="checkbox"/> Planning Granted	<input type="checkbox"/> Thames Water		

21/01/2019 Project Location: 74 CONNAUGHT ROAD

Scale: 1:50 & 1:100 on A1 Paper

GREAT WEST DESIGN

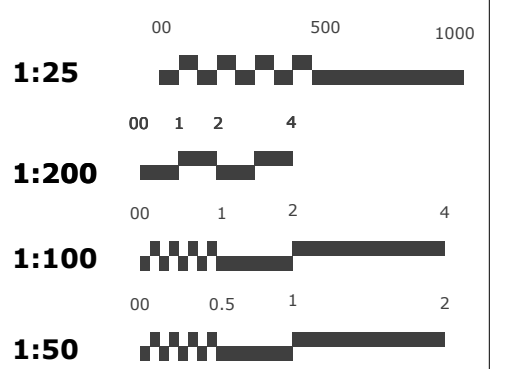
30 HEATH ROAD, TWICKENHAM, TW1 4BZ
Tel: 020 8991 5335
Email: info@greatwestdesign.org

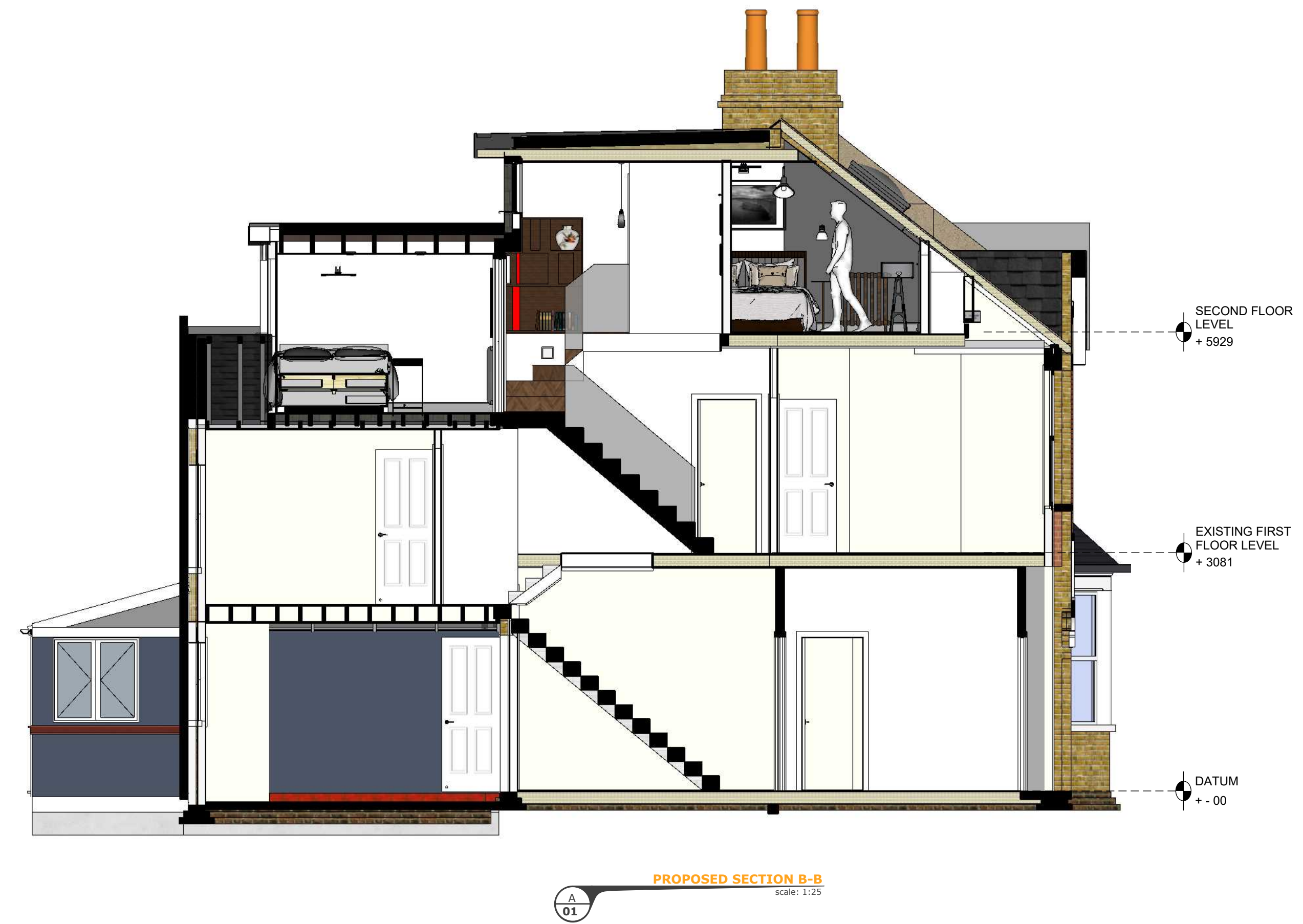
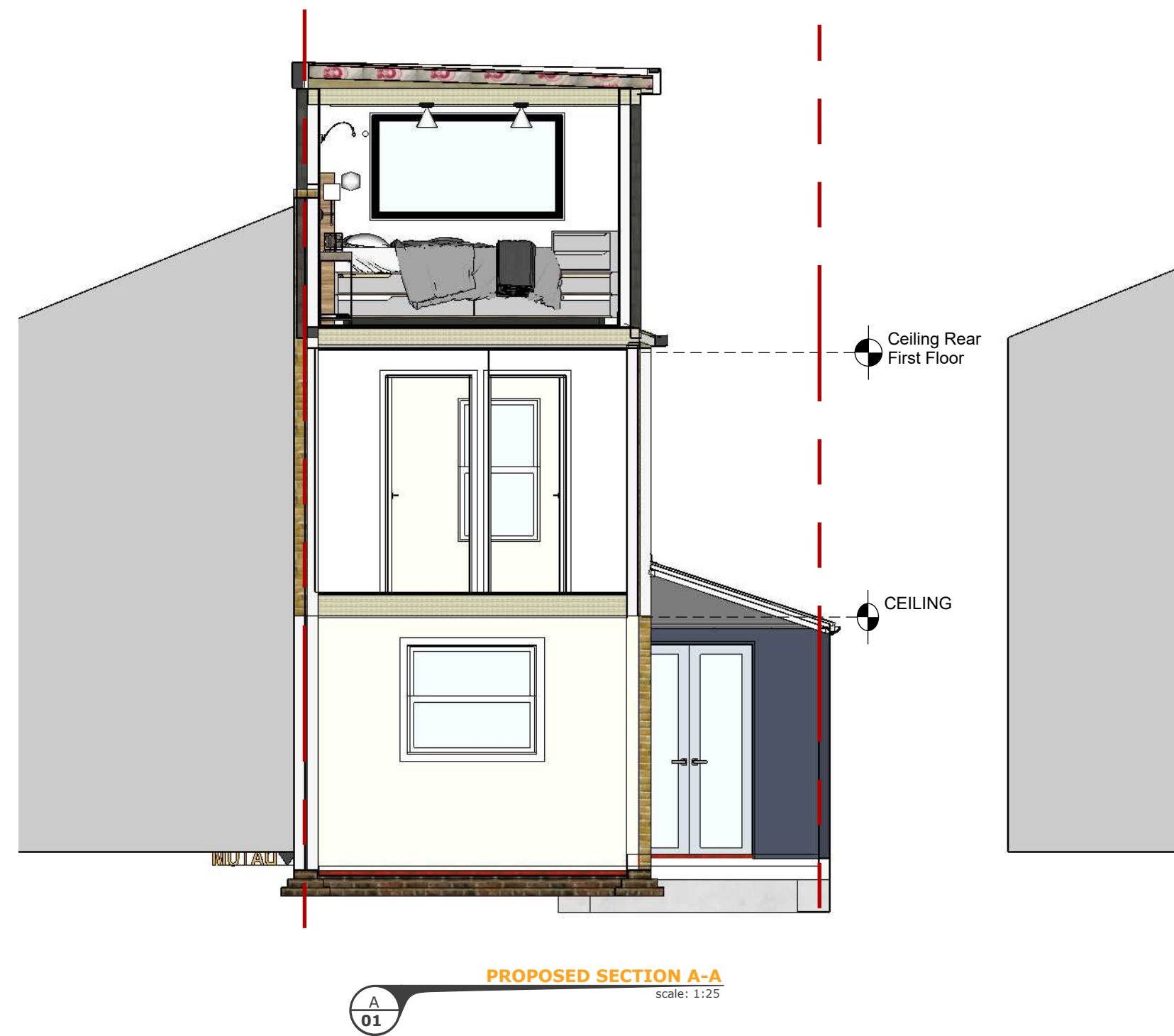


Project Title: PROPOSED REAR GROUND FLOOR EXTENSION WITH VELUX WINDOWS AND ALTERATION TO EXISTING REAR GROUND FLOOR EXTENSION

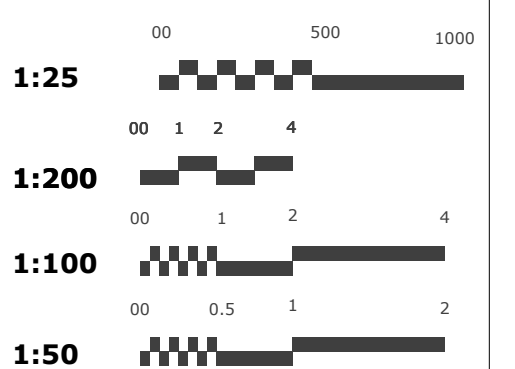
CONSTRUCTION DRAWINGS

DN 04 Rev





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NOTE: Window style, type to be agreed with client and setting of all windows to be agreed with client prior to installation

NOTE: Setting of all radiators to be agreed with client prior to installation

Provide mains operated interlinked smoke detectors on a single supply electrical circuit with battery back up at the ground, first and second floor levels within the staircase enclosure

New stud partition walls 130mm wide with 1/2 fire rating

All doors marked FD30/20 to be 30/20 minute fire resistant set in fire resistant frame. Use 25 x 38mm minimum size doorstops glued and screwed to frame

New stairs to be installed from first floor to new second floor. Manufacture to ensure that stairs complies with all Building Regulation requirements. Client to confirm with manufacture final position of stairs

Final layout to be agreed with client prior to installation

NOTE: Minimum one per four new fixed lighting fittings to be capable of taking only a lamp a luminous efficacy greater than 40 lumens per circuit/watt

NOTE: New partitions separating second floor staircase from habitable rooms to be constructed of 100x50mm studs with 12.5mm plasterboard and plaster scrim to both sides to achieve 30 minutes fire resistance with 100 Rockwool wool quilt in between

NOTE: Setting of all windows to be agreed with client prior to installation

Install extractor fan, client to confirm final position

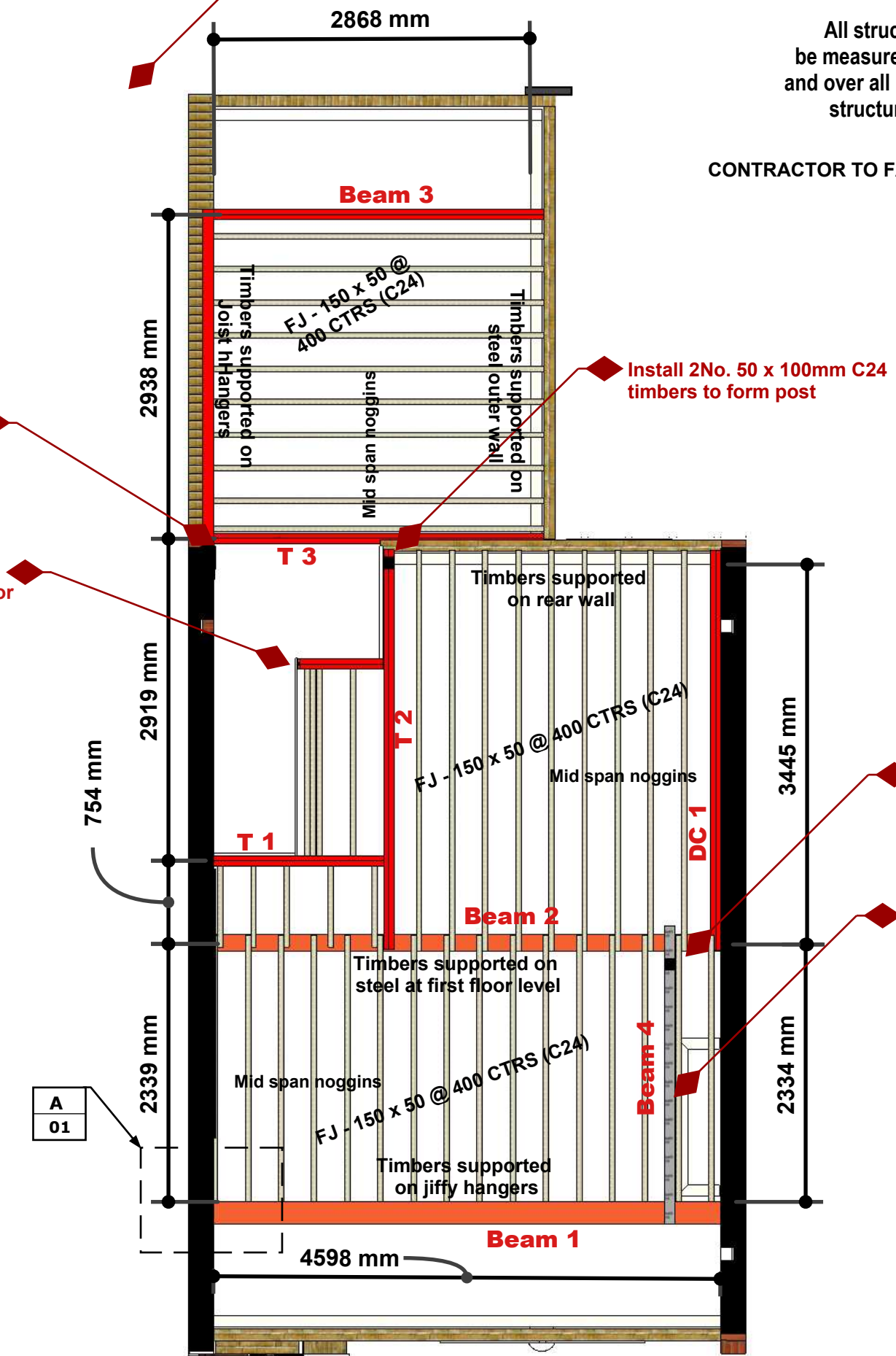
Install 2No. 50 x 100mm C24 timbers to form post

Steel bar to support floor

Install Catnic Lintels over window/door openings

All structural openings and steel lengths must be measured on site before steel beams are ordered and over all length of each steel to be checked against structural calculations and detailed drawings

CONTRACTOR TO FACTOR IN SITE BUILDING DISCREPANCIES DO TO AGE OF PROPERTY



PROPOSED SECOND FLOOR STRUCTURAL PLAN

A
01

scale: 1:50

PROPOSED SECOND FLOOR PLAN

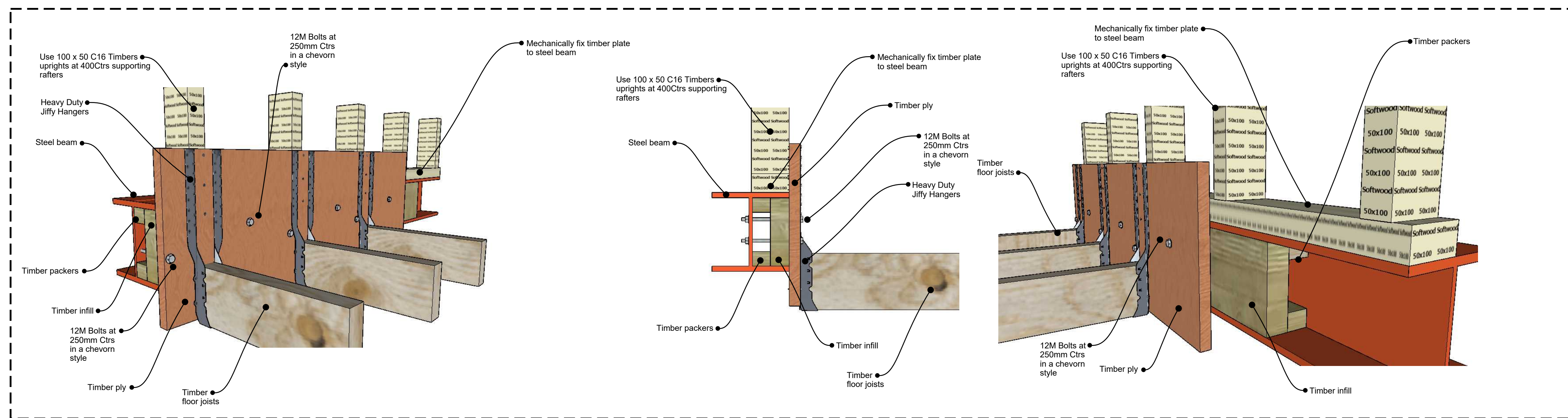
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01

scale: 1:50

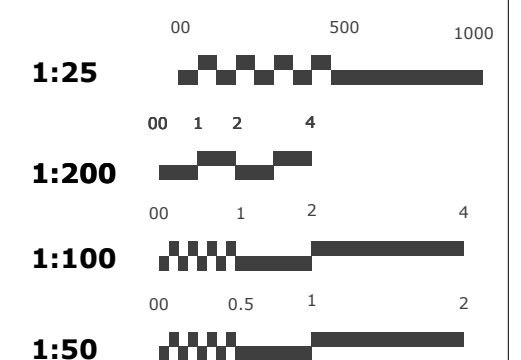
PROPOSED SECOND FLOOR PLAN

A
01

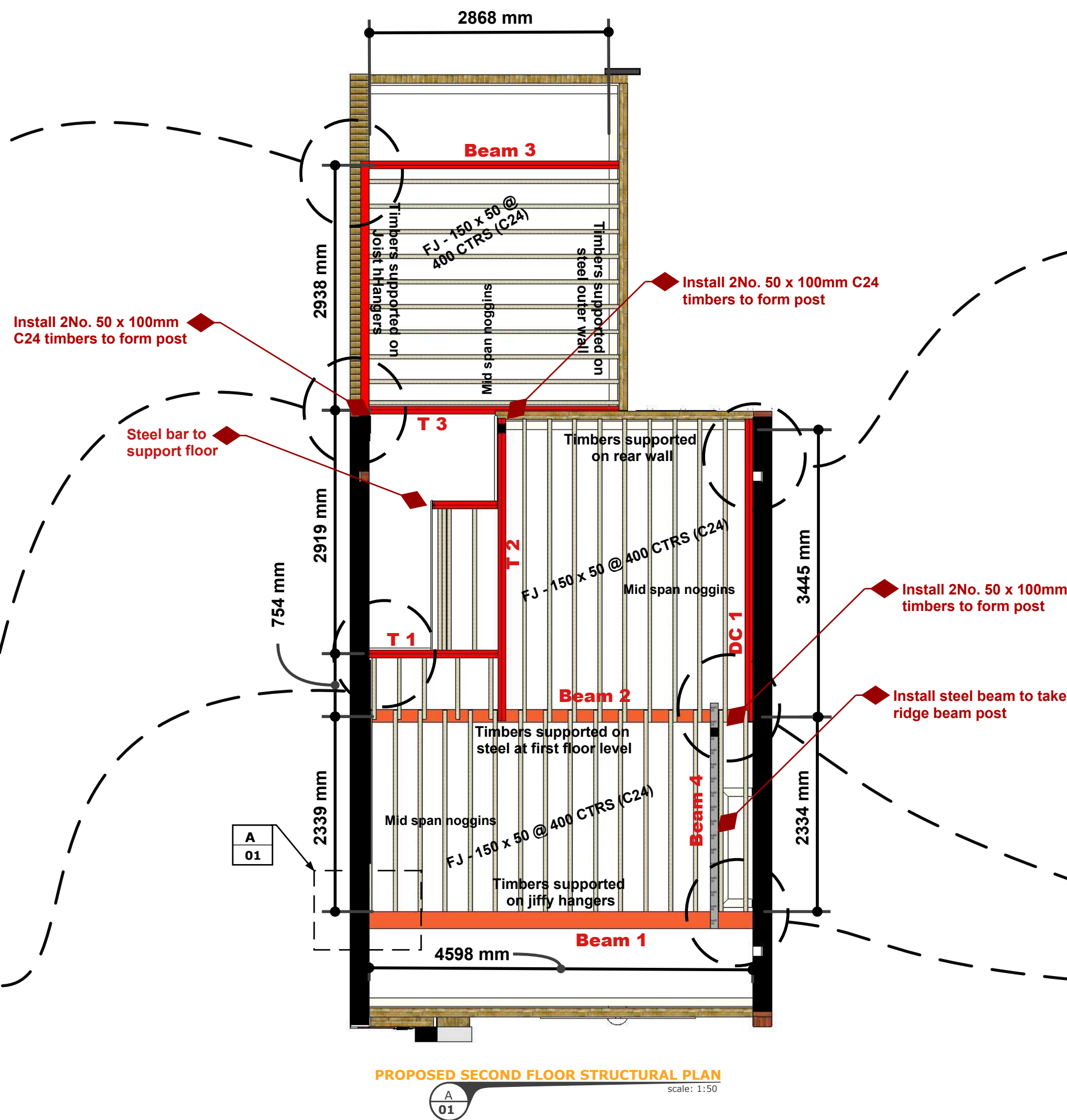
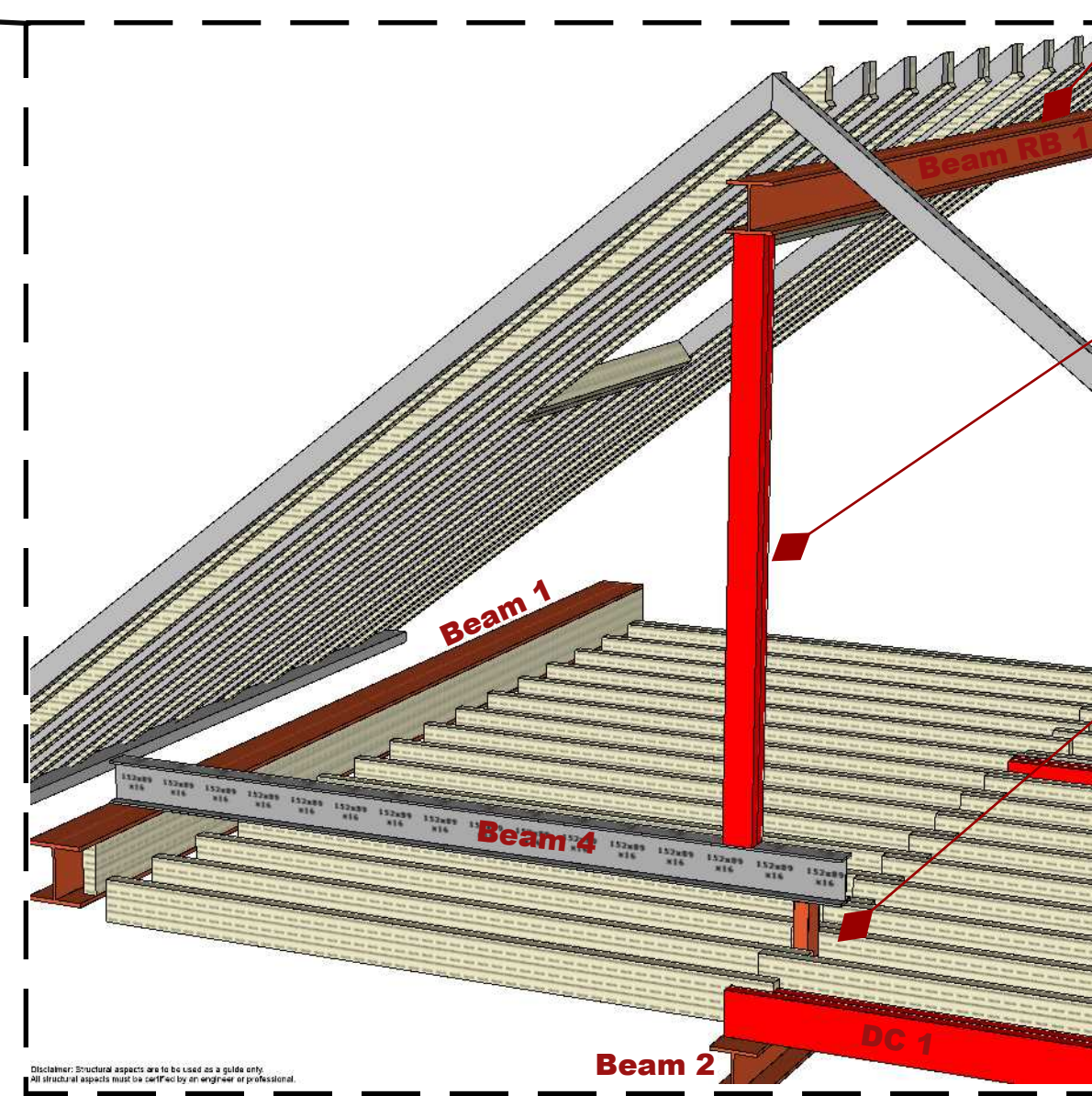
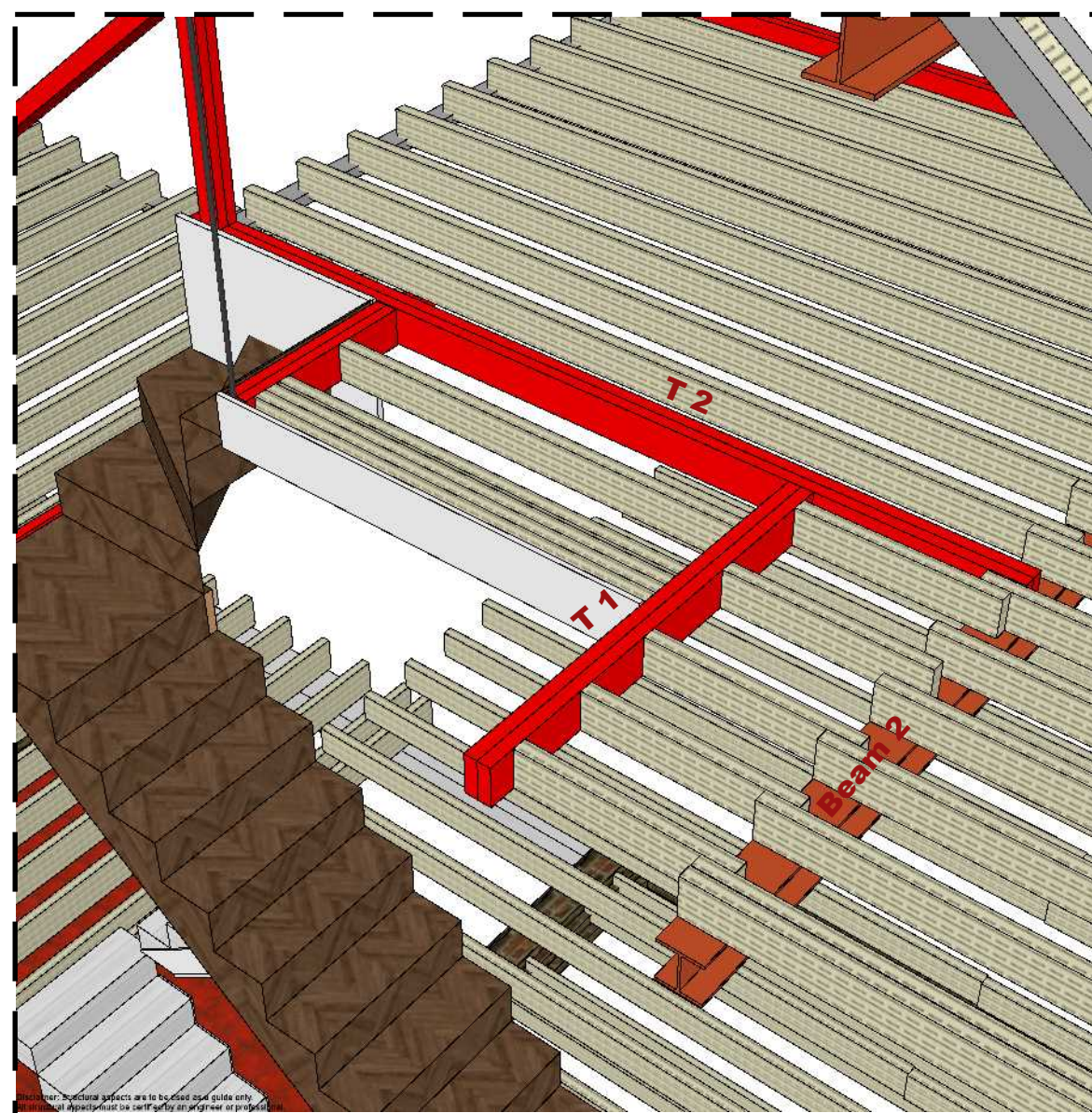
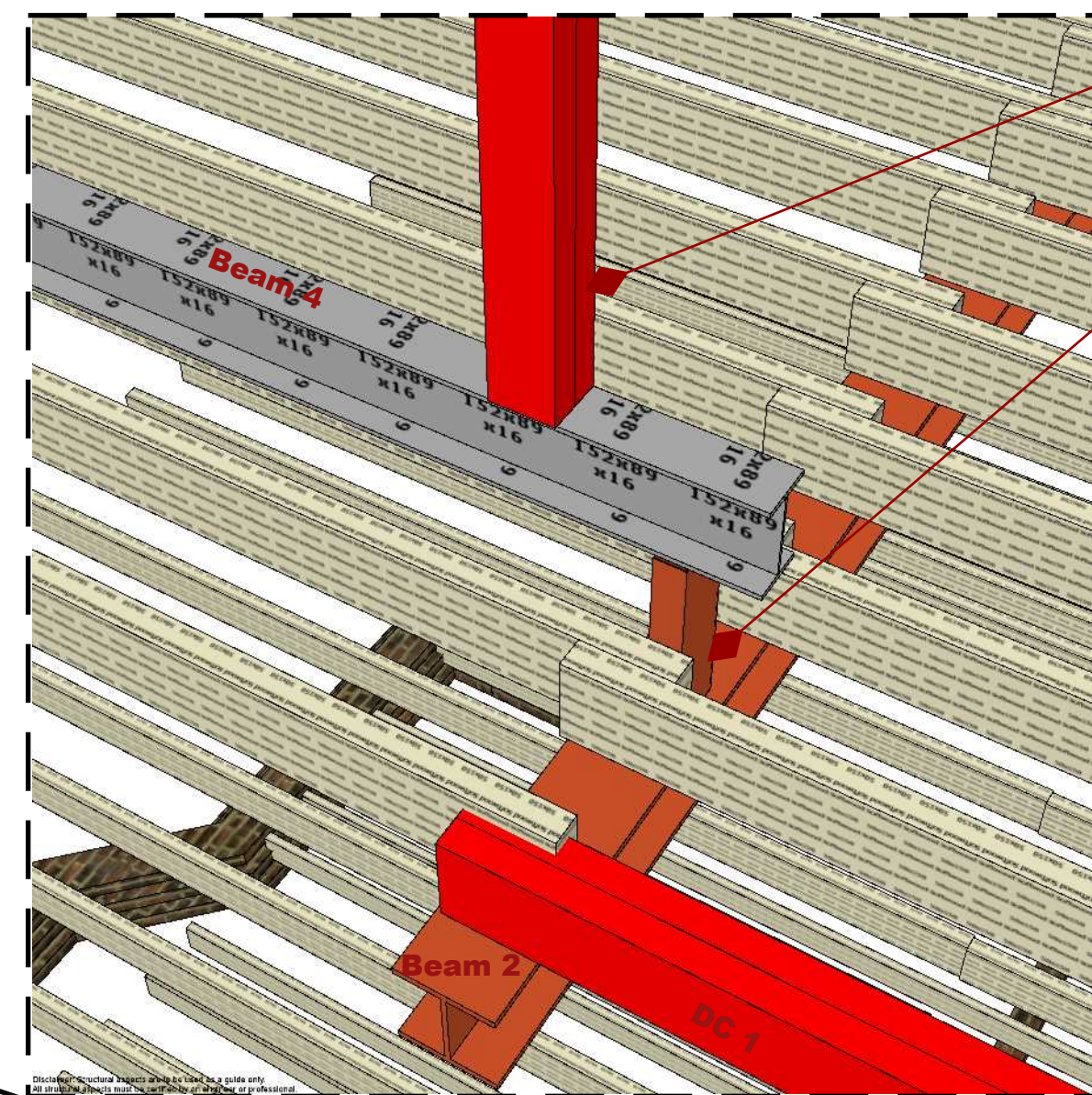
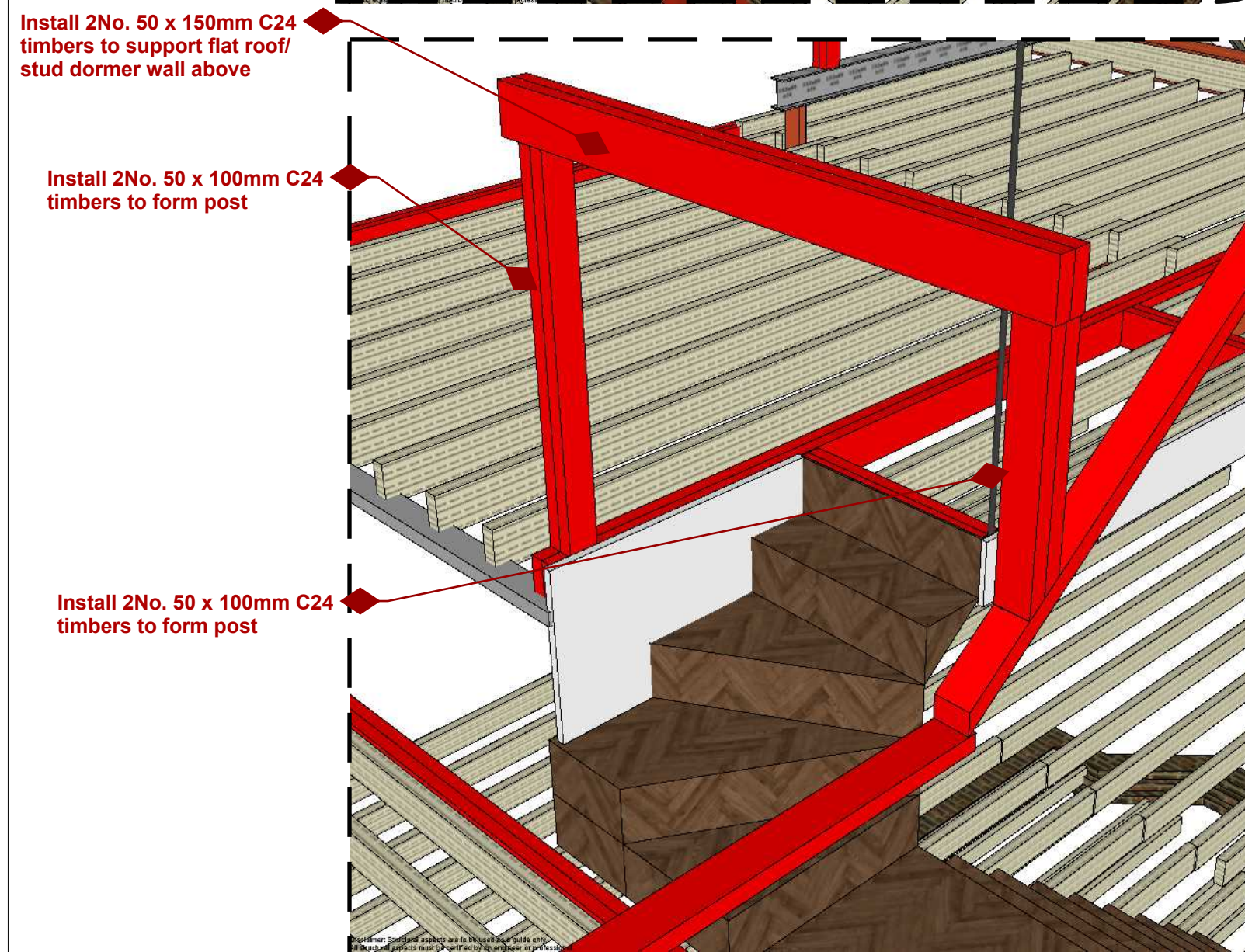
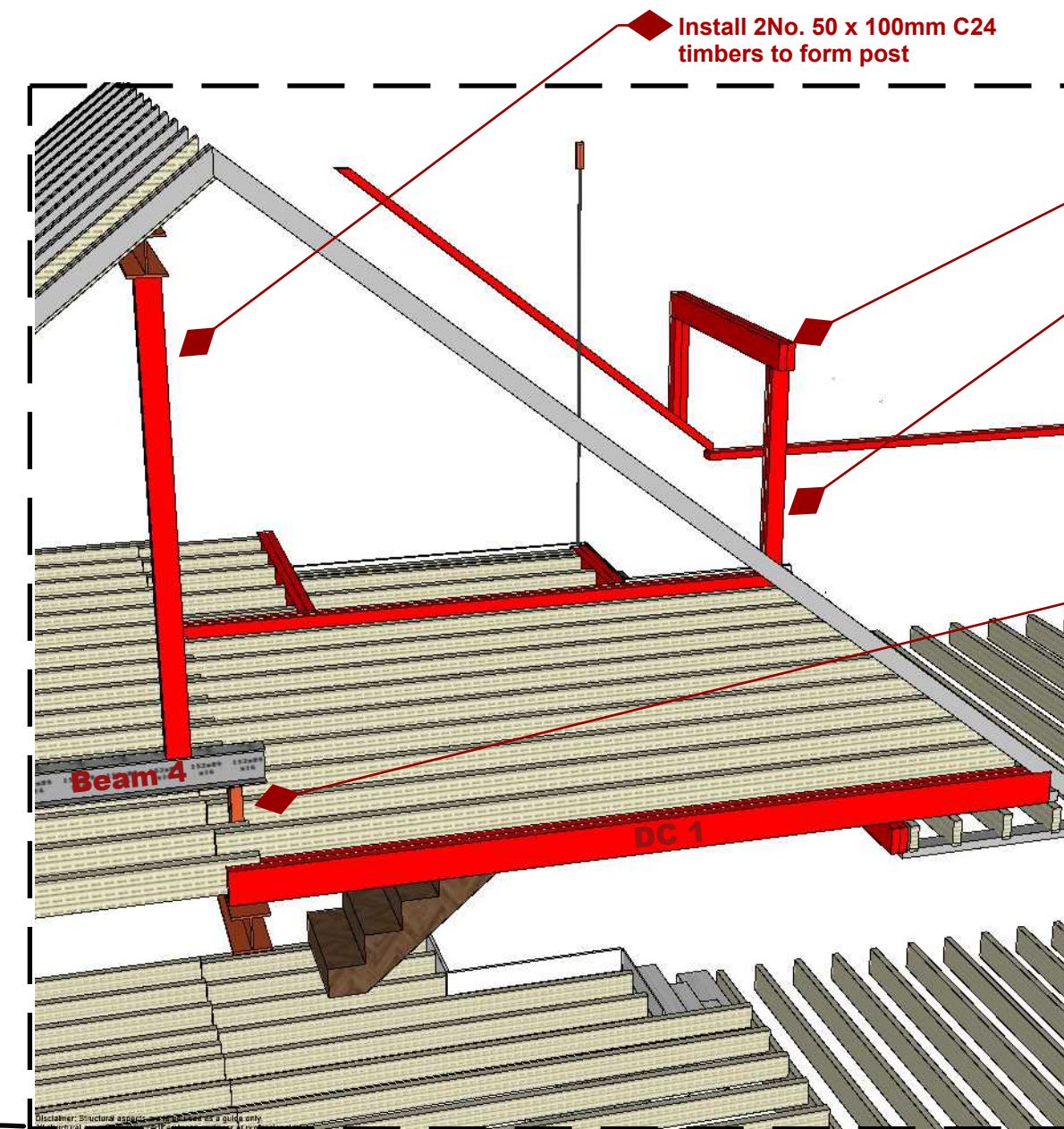
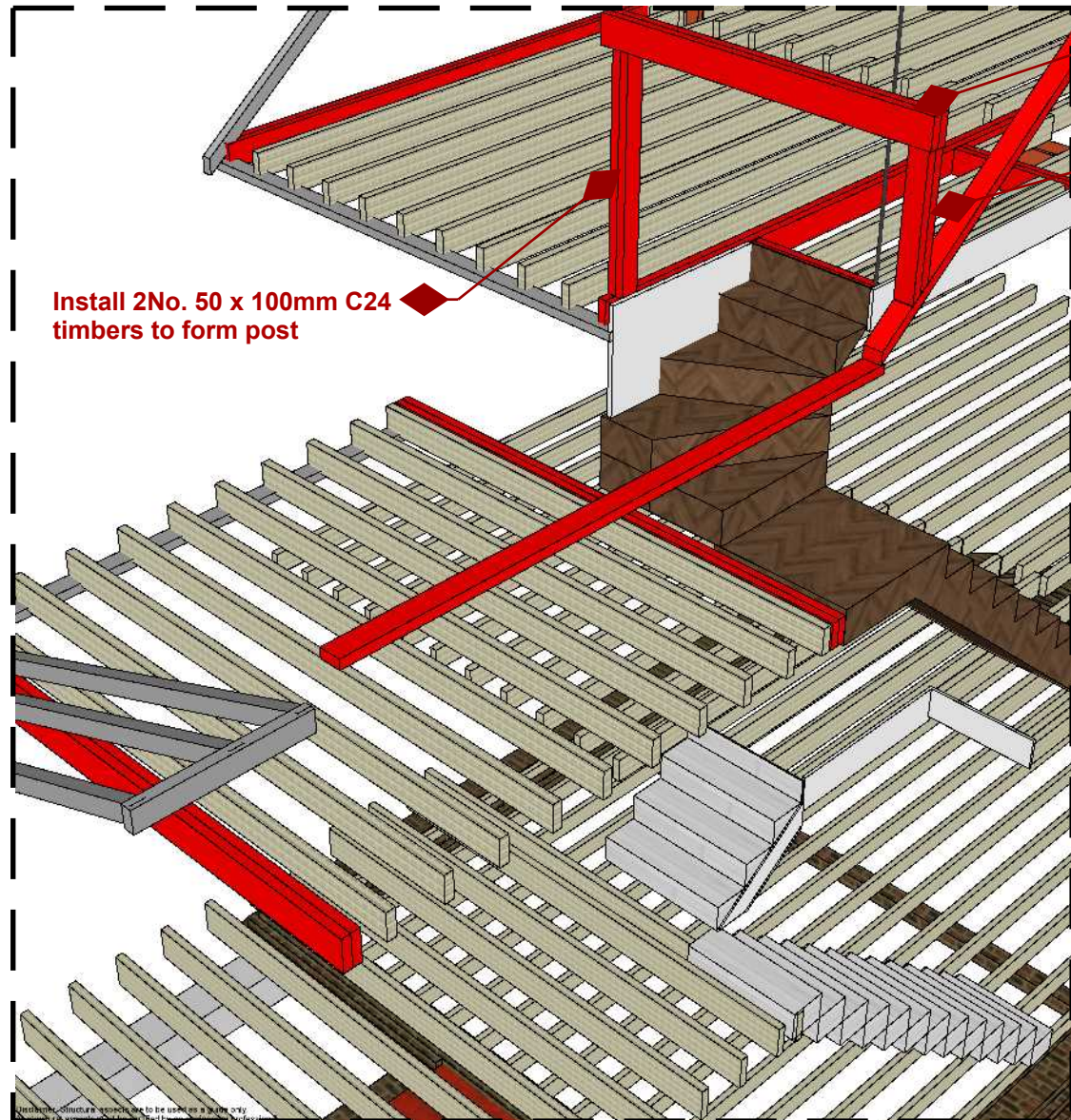
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A
01
scale: NOT TO SCALE

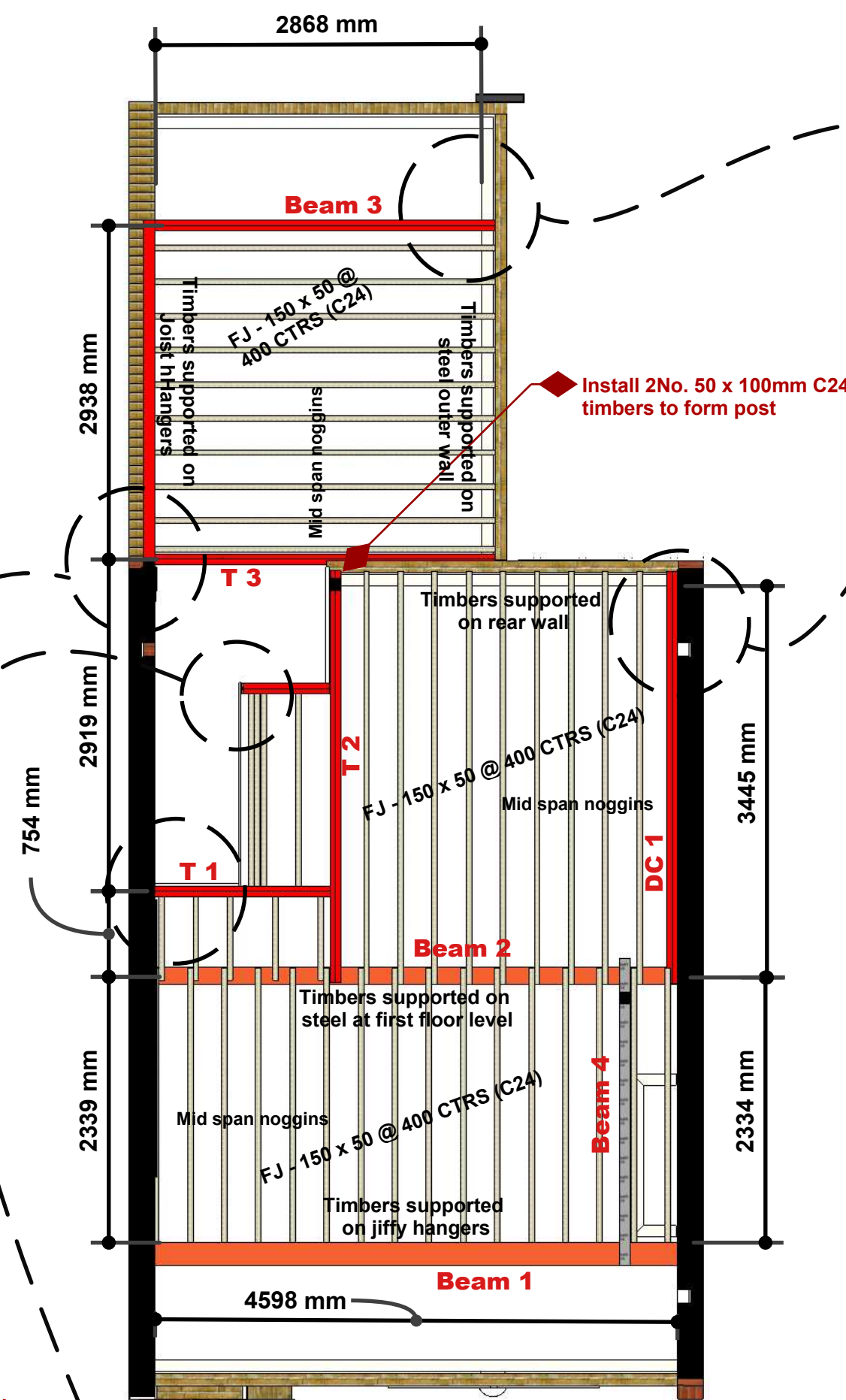
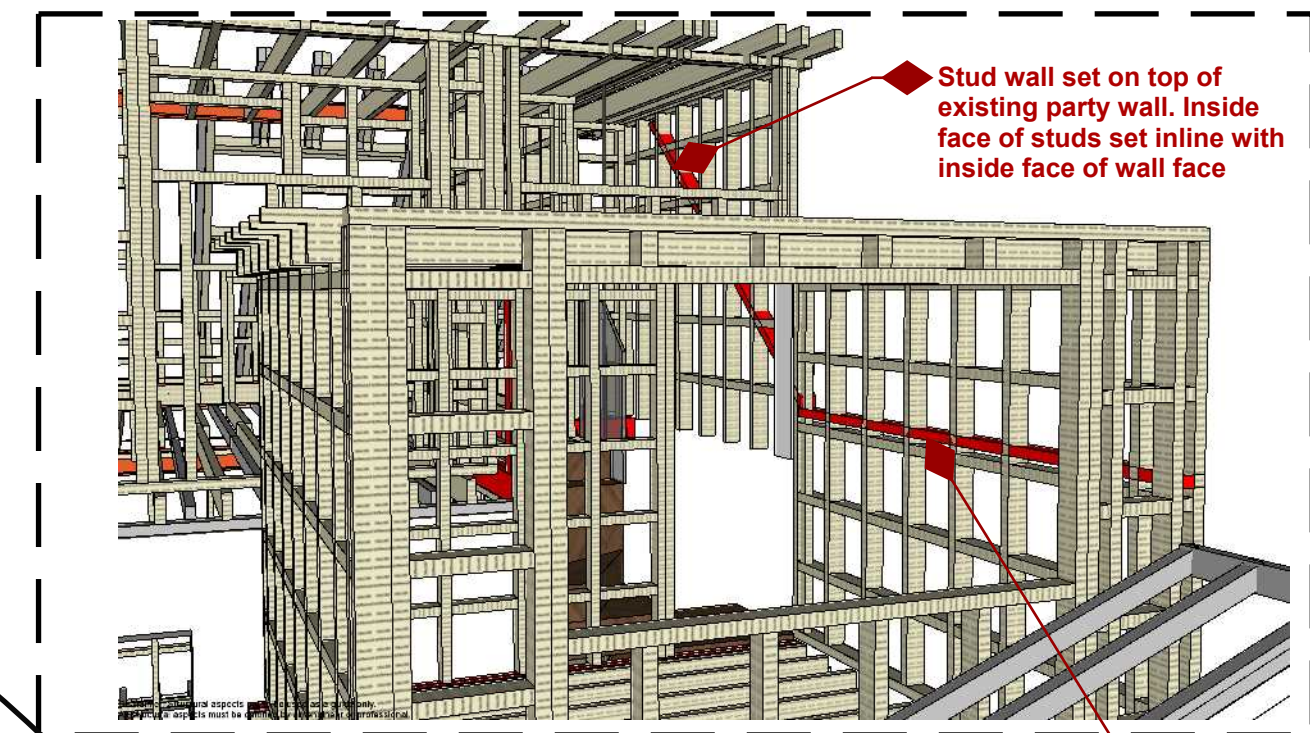
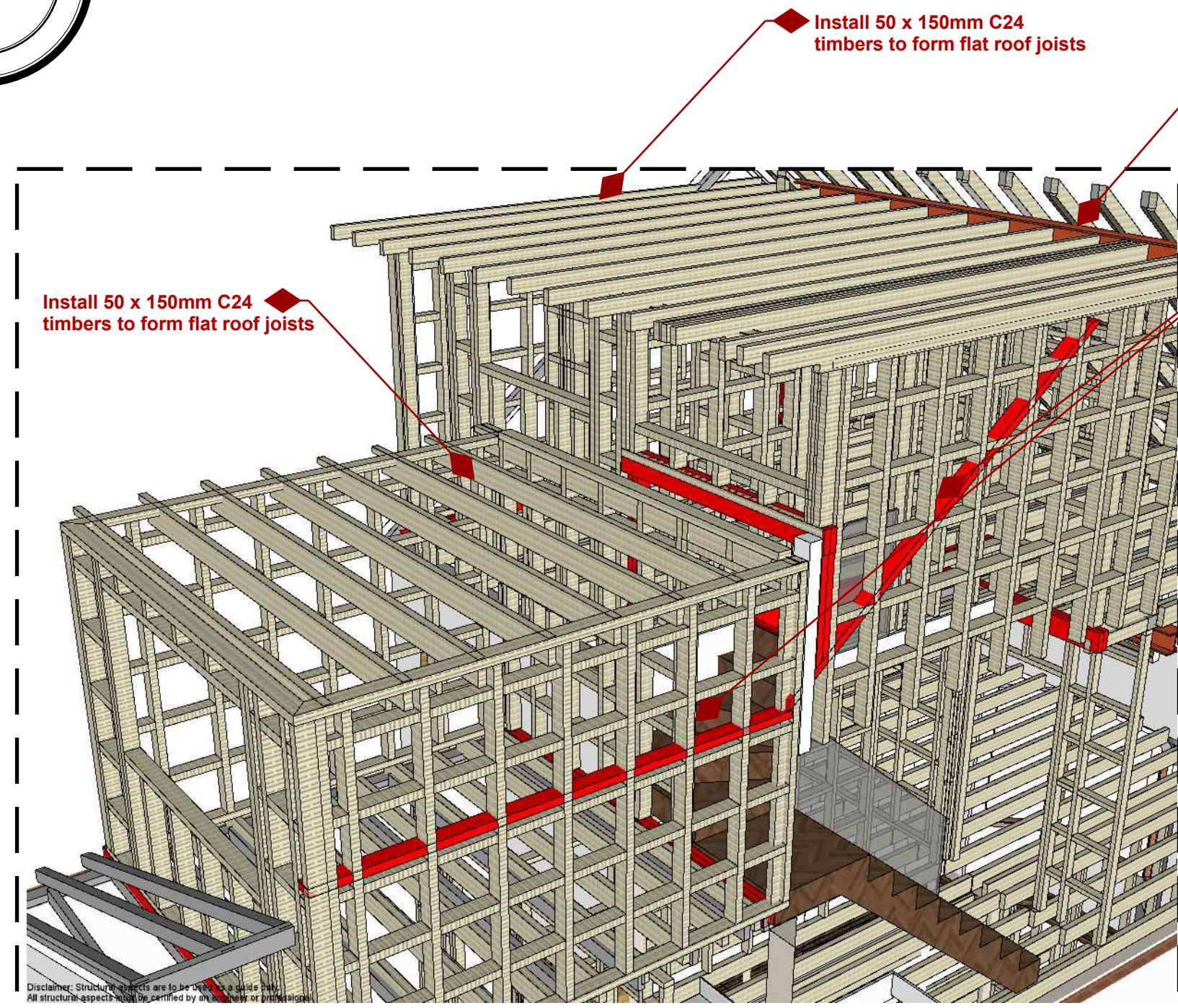


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<input checked="" type="checkbox"/> Planning Granted	<input type="checkbox"/> Thames Water		

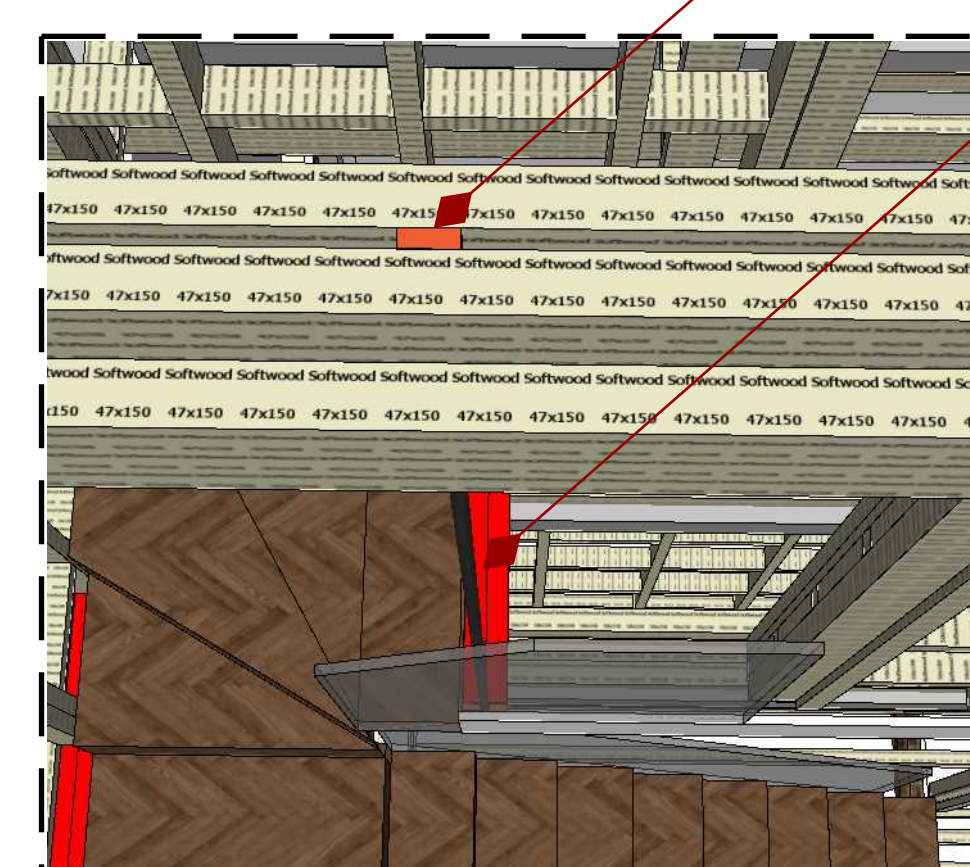
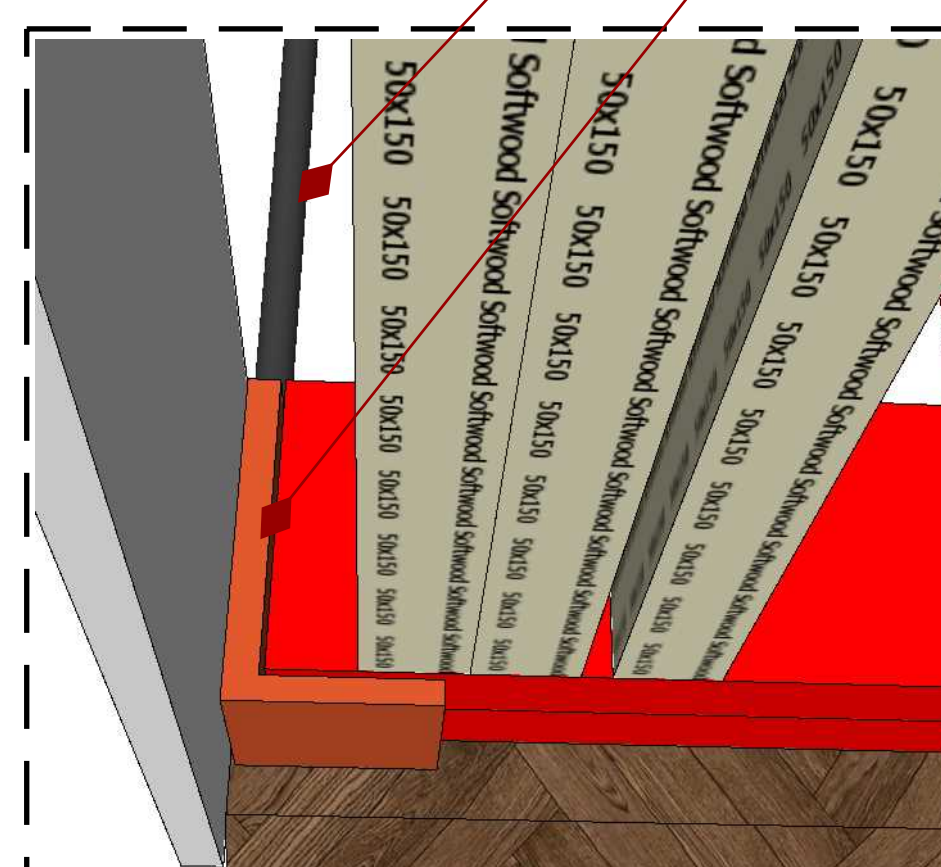
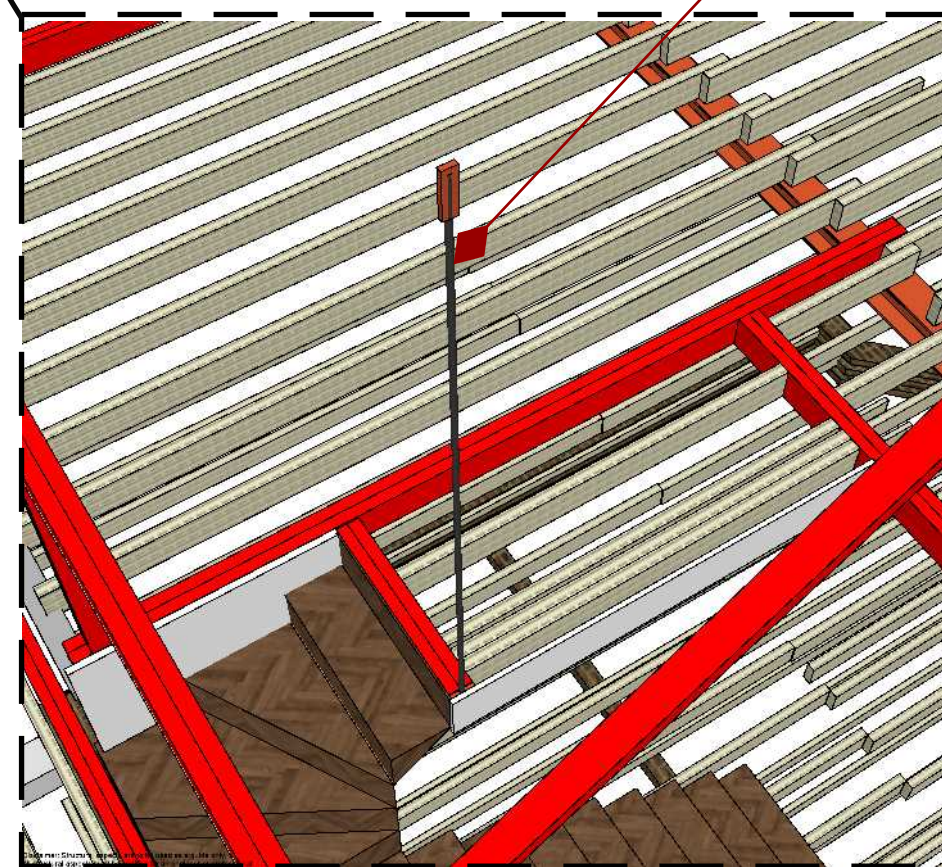
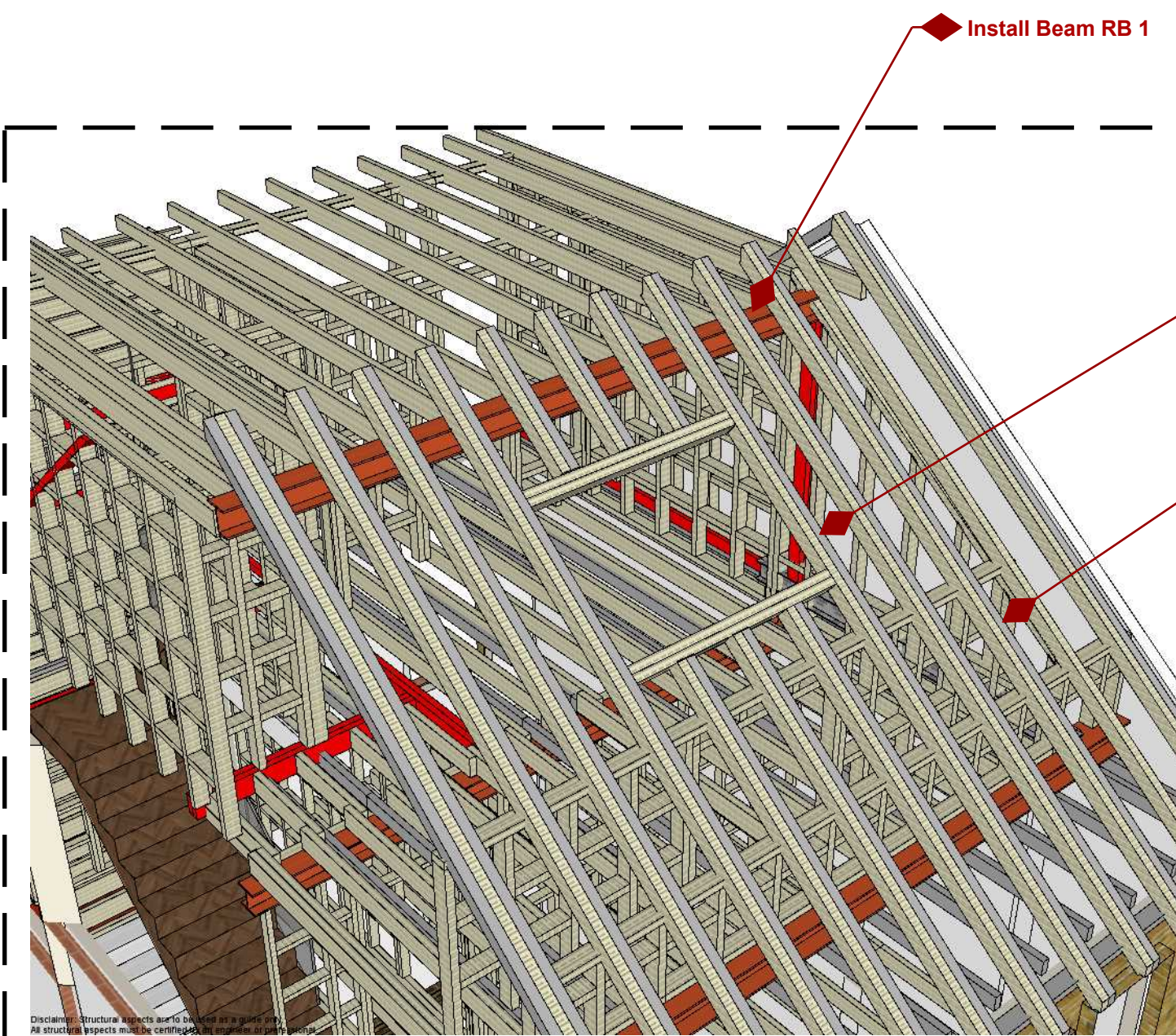
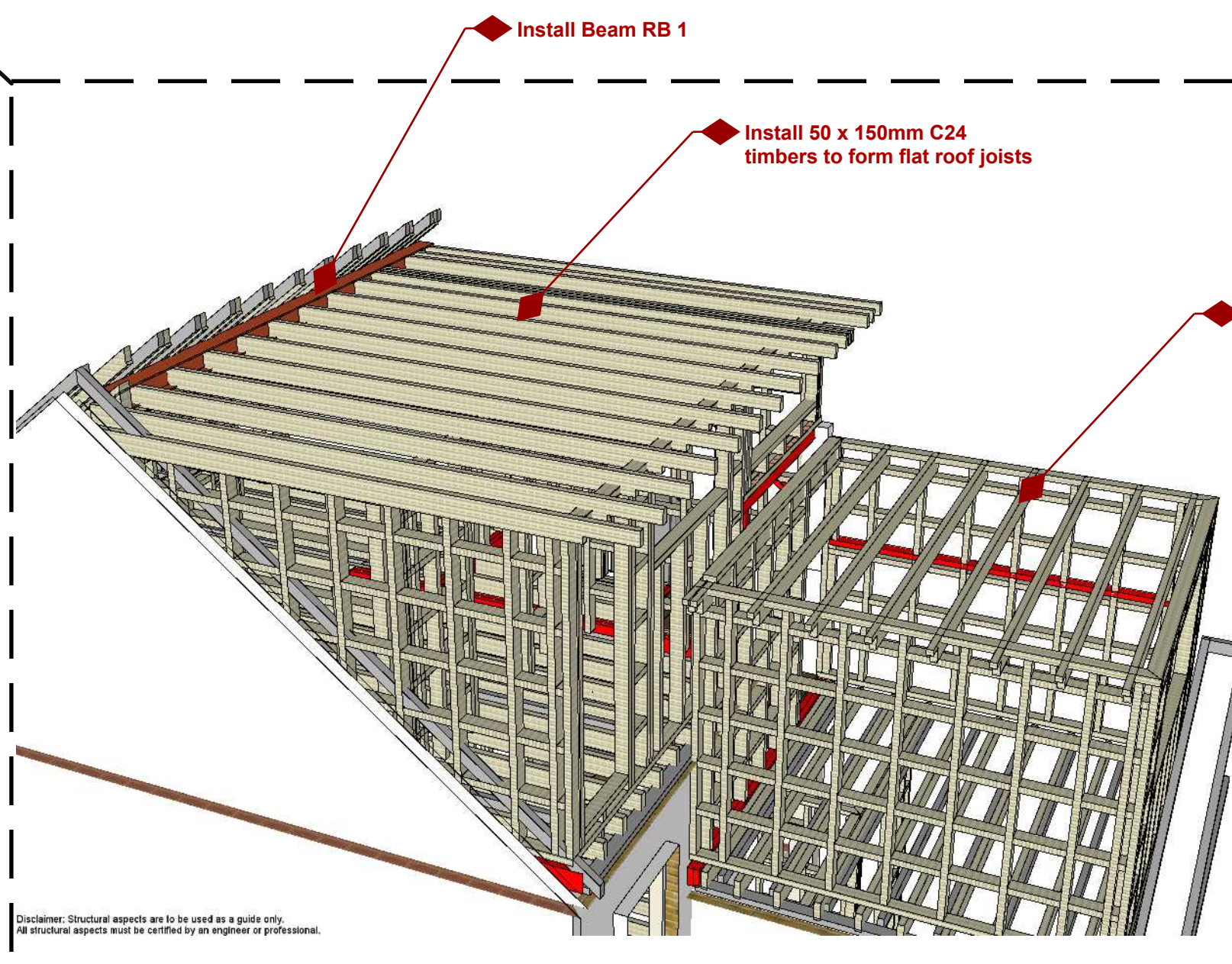


PROPOSED SECOND FLOOR STRUCTURAL PLAN
Scale: 1:50

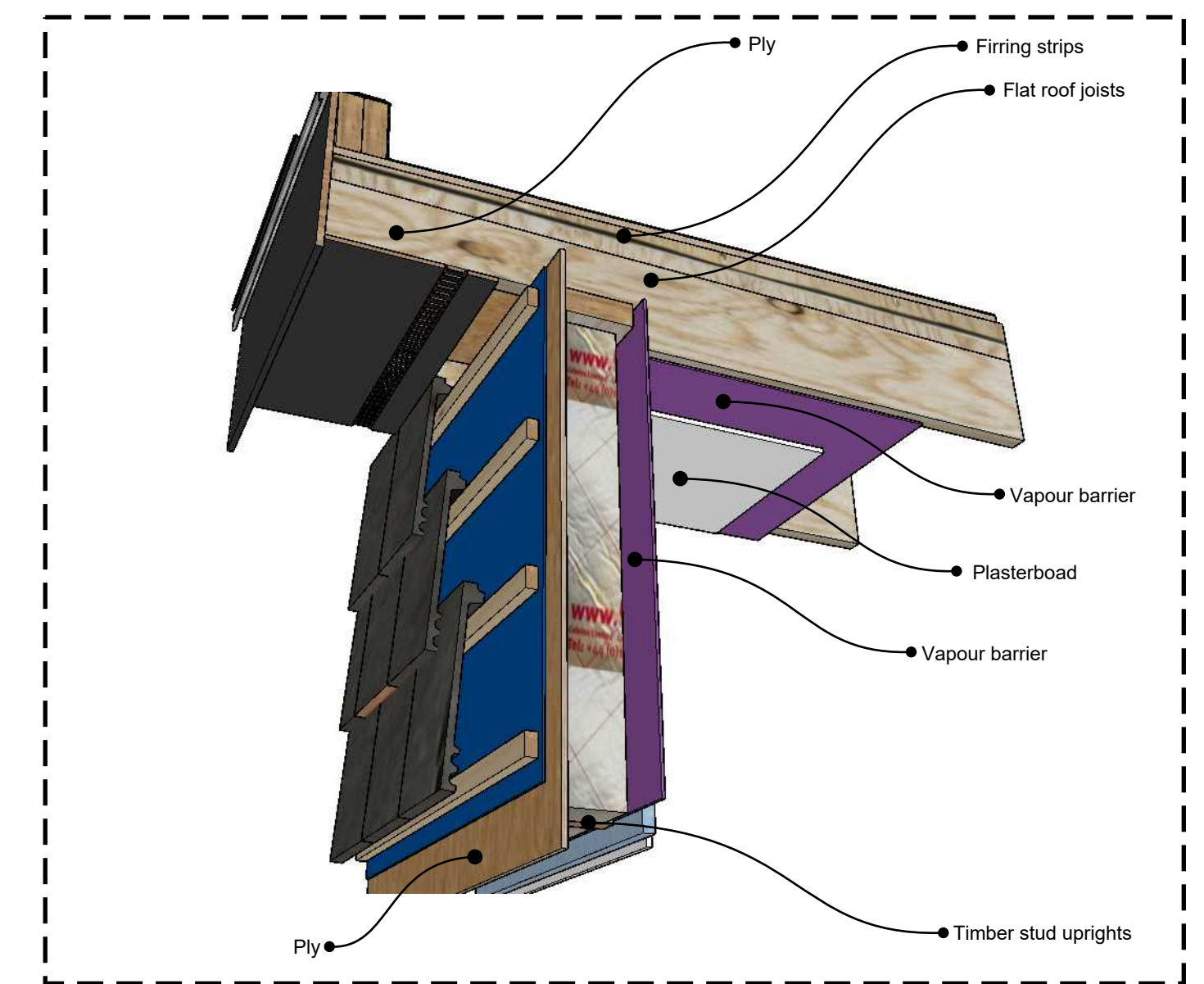
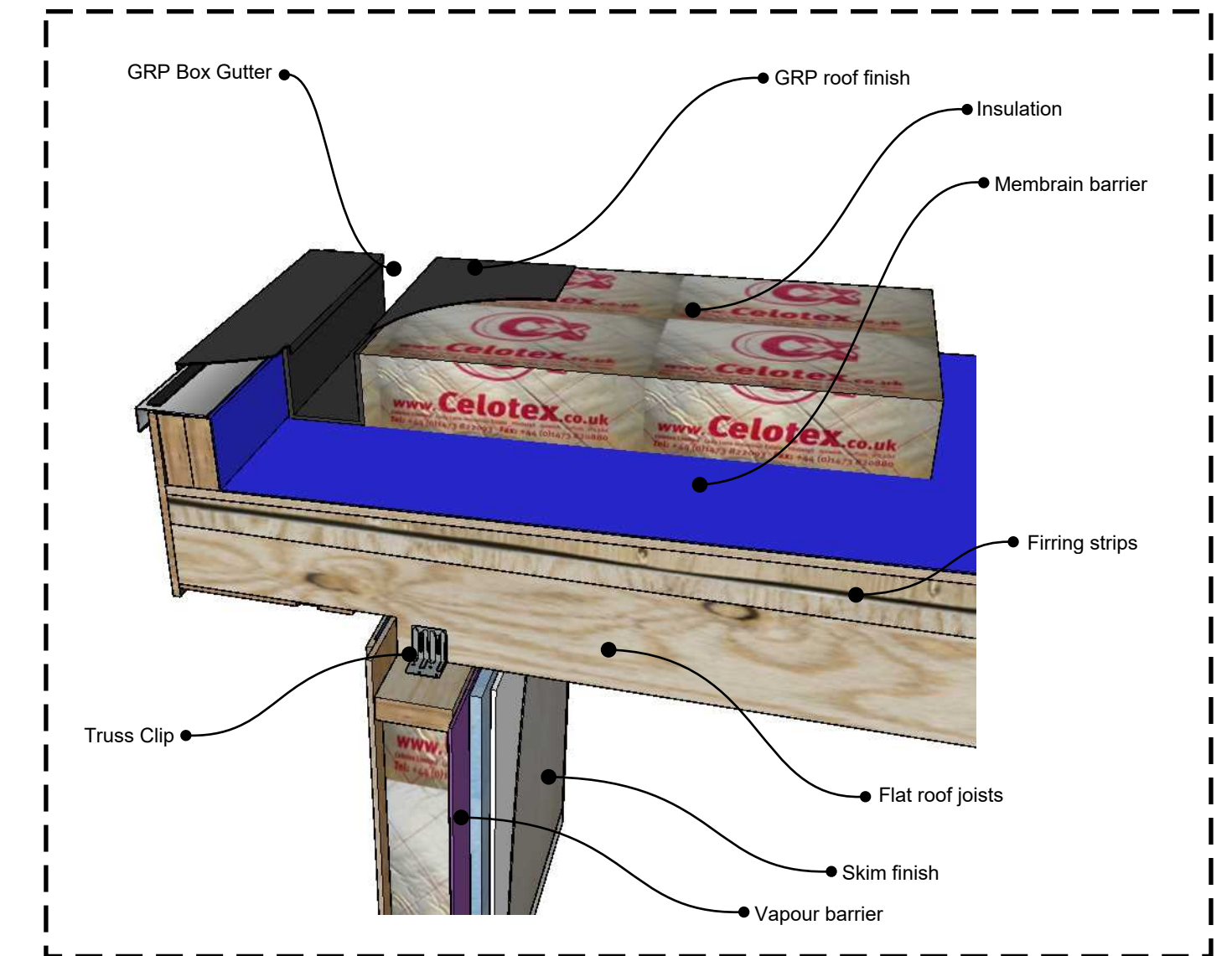
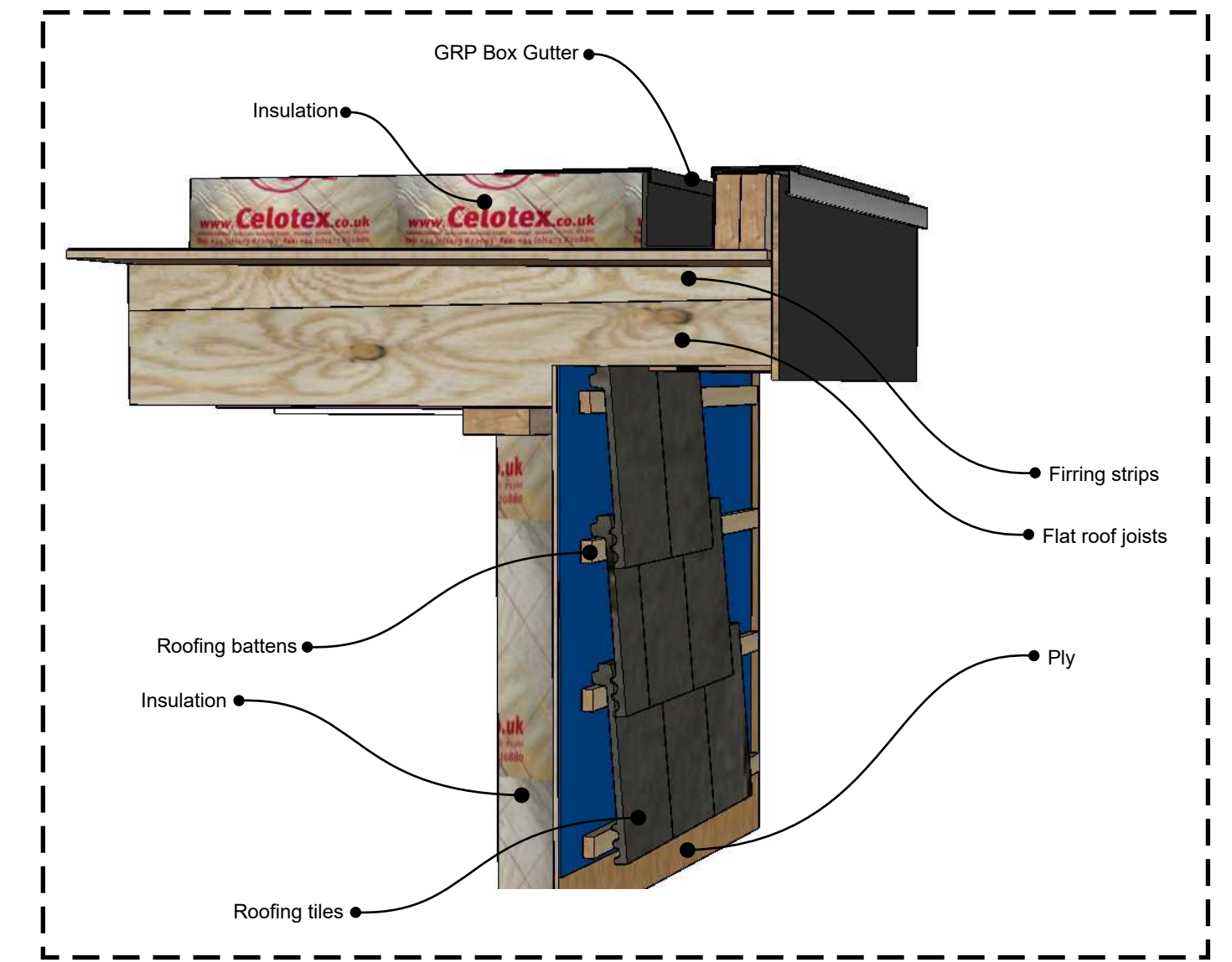
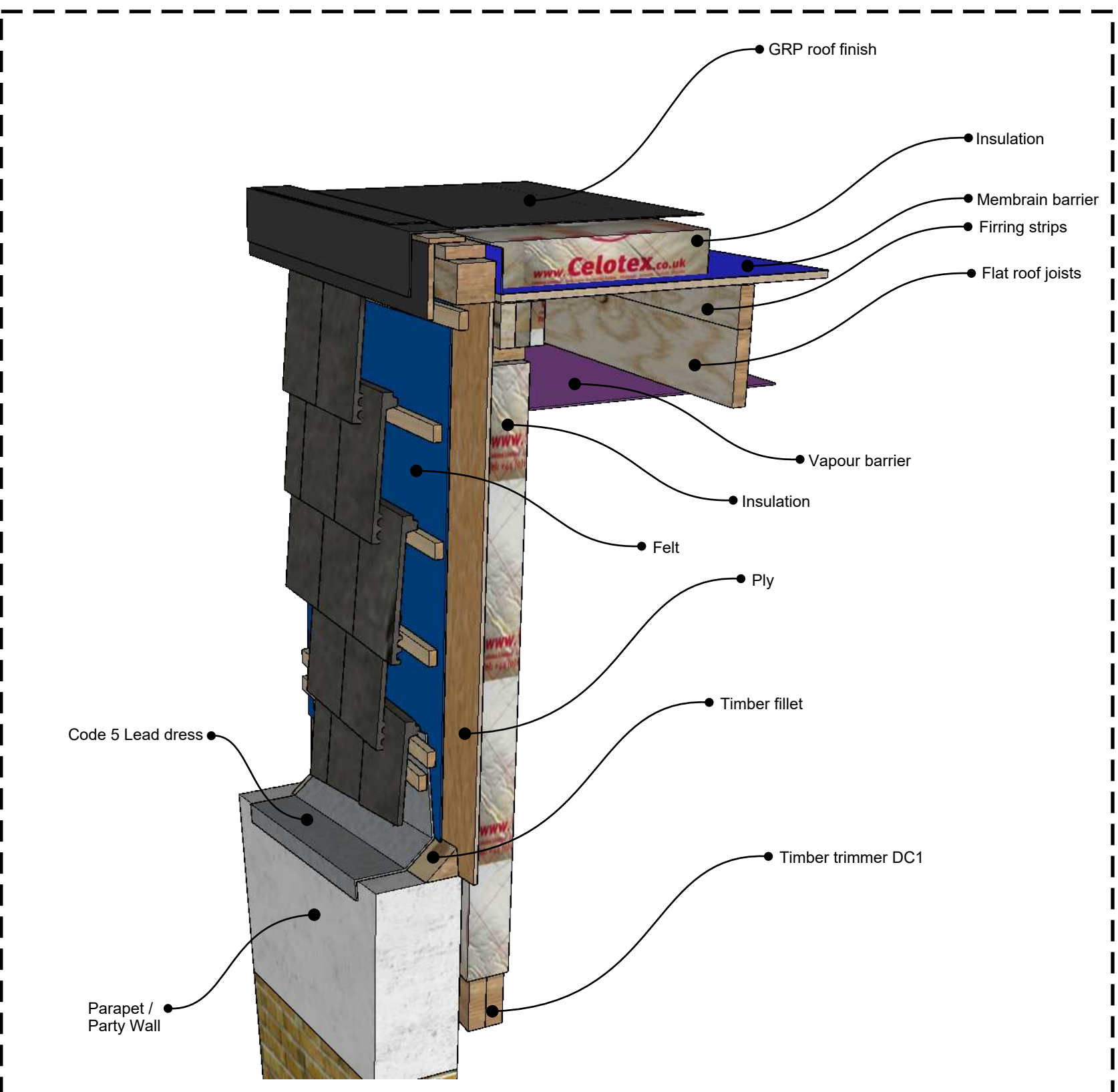
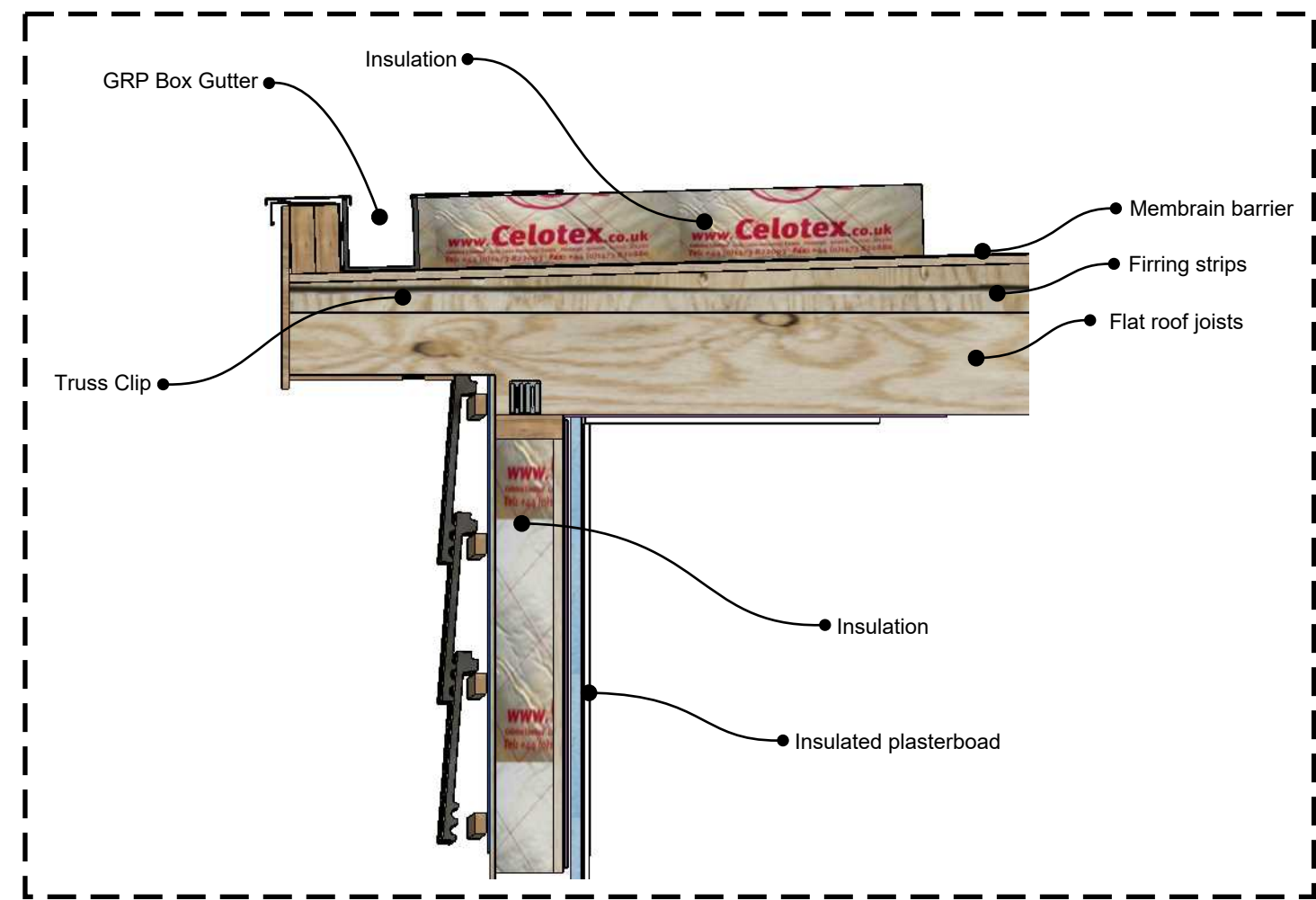
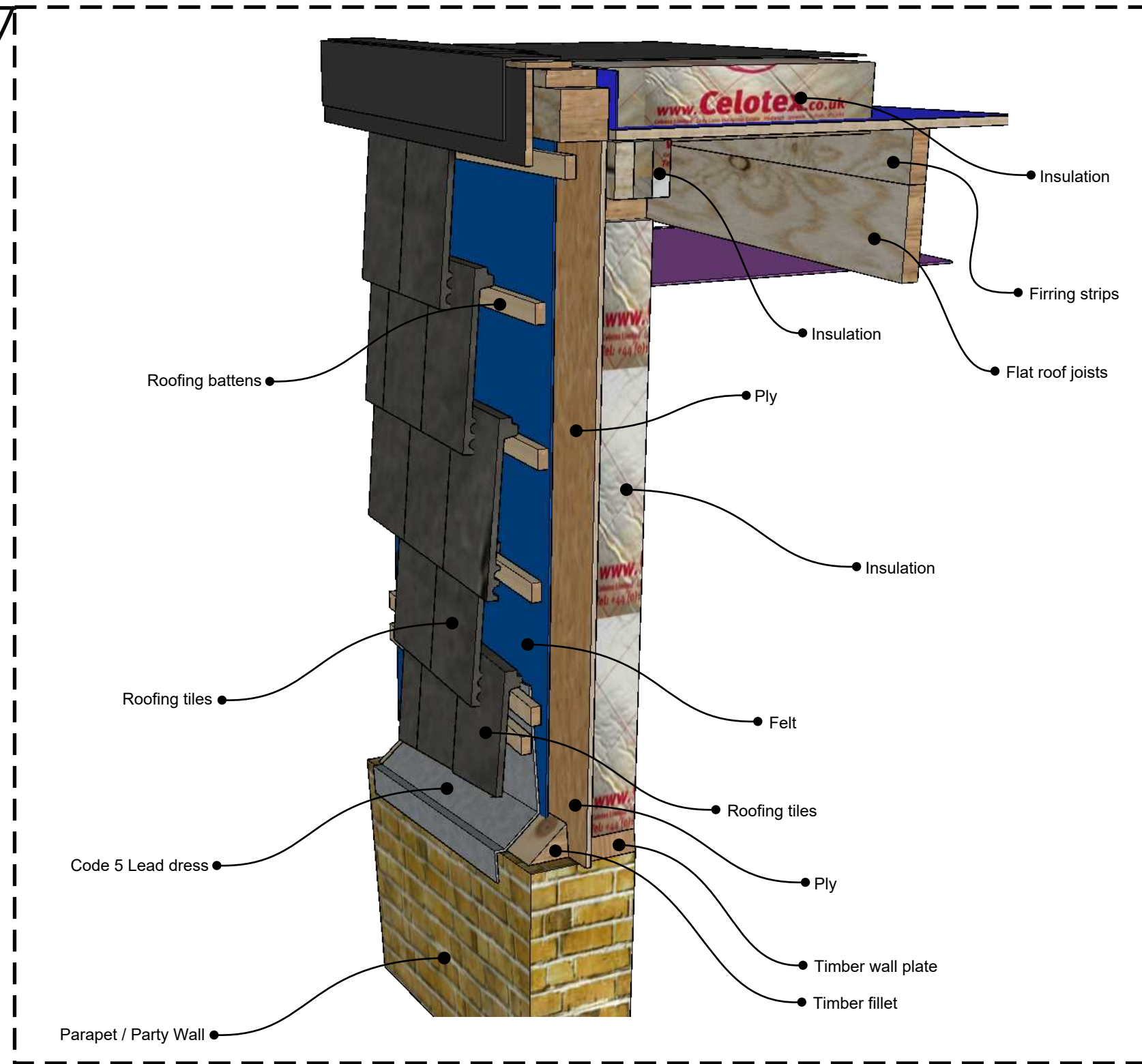
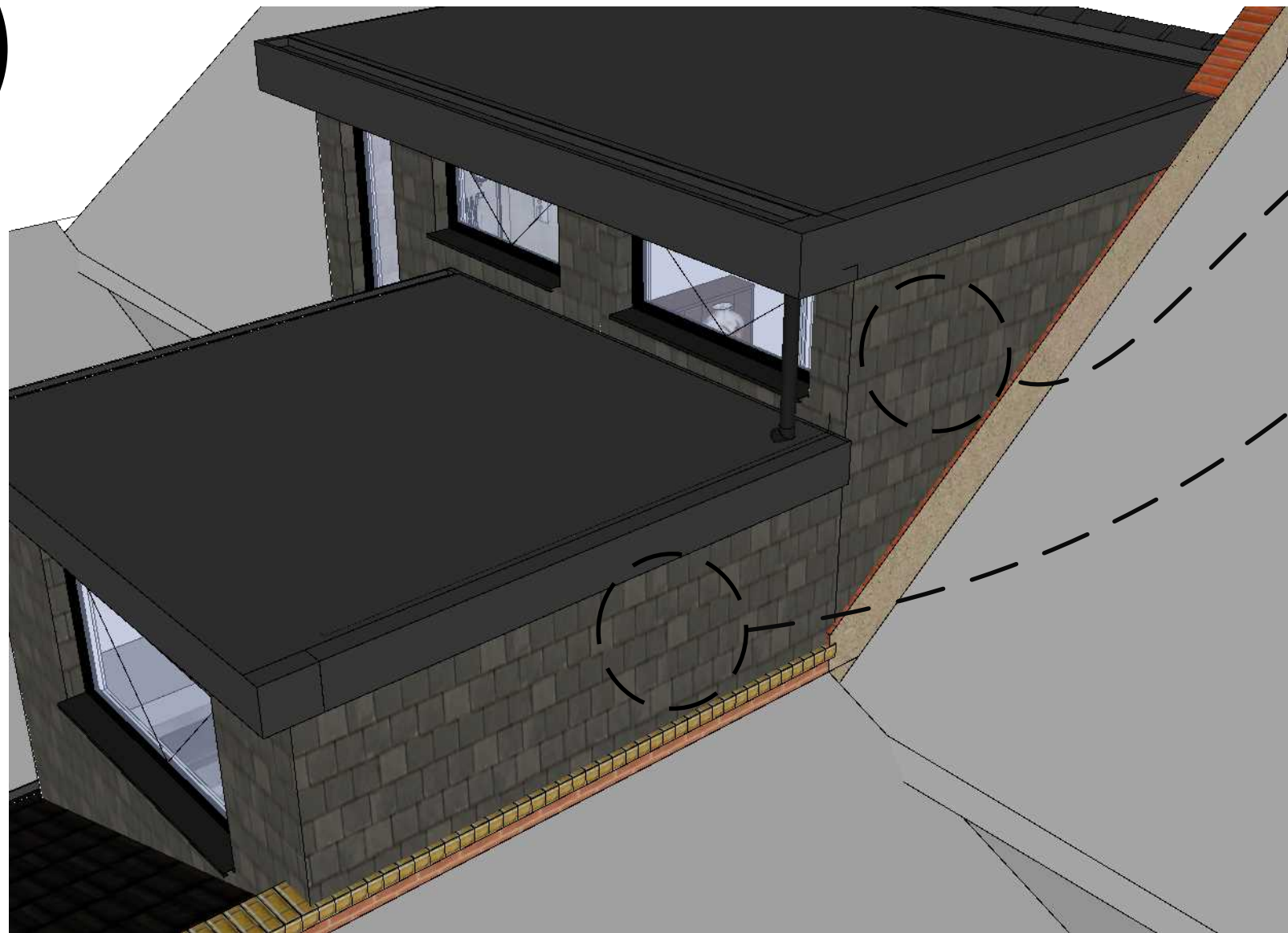
COORDINATION	
Preliminary Design	Building Upgrade
Planning Submitted	Building Control Sign off
Planning Granted	Thames Water



PROPOSED SECOND FLOOR STRUCTURAL PLAN
Scale: 1:50



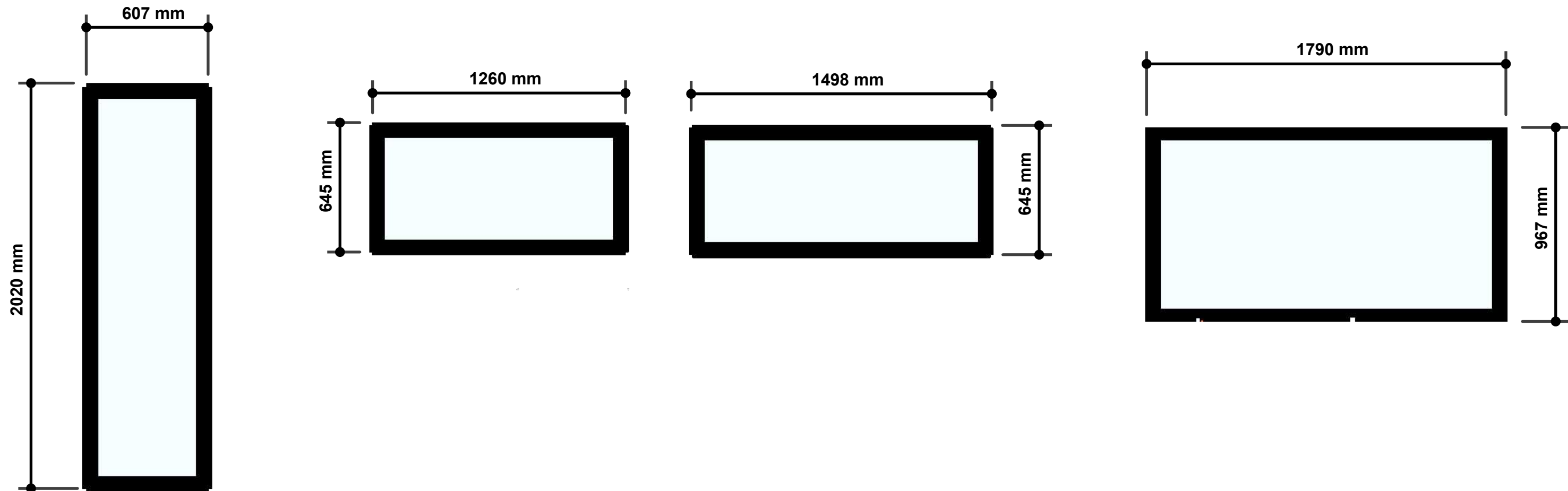
COORDINATION			
■ Preliminary Design	■ Building Upgrade	■ Planning Submitted	■ Building Control Sing off
■ Planning Granted	■ Thames Water		



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<input checked="" type="checkbox"/> Planning Granted	<input type="checkbox"/> Thames Water		



DOOR / WINDOW SCHEDULE



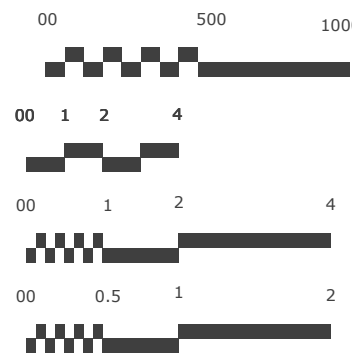
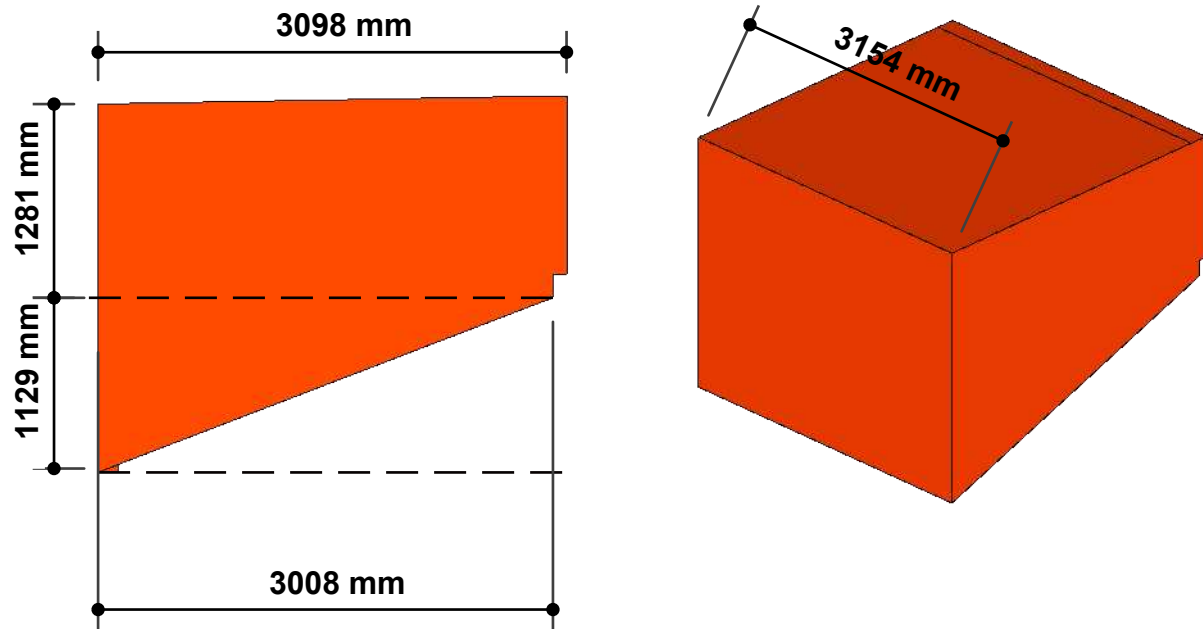
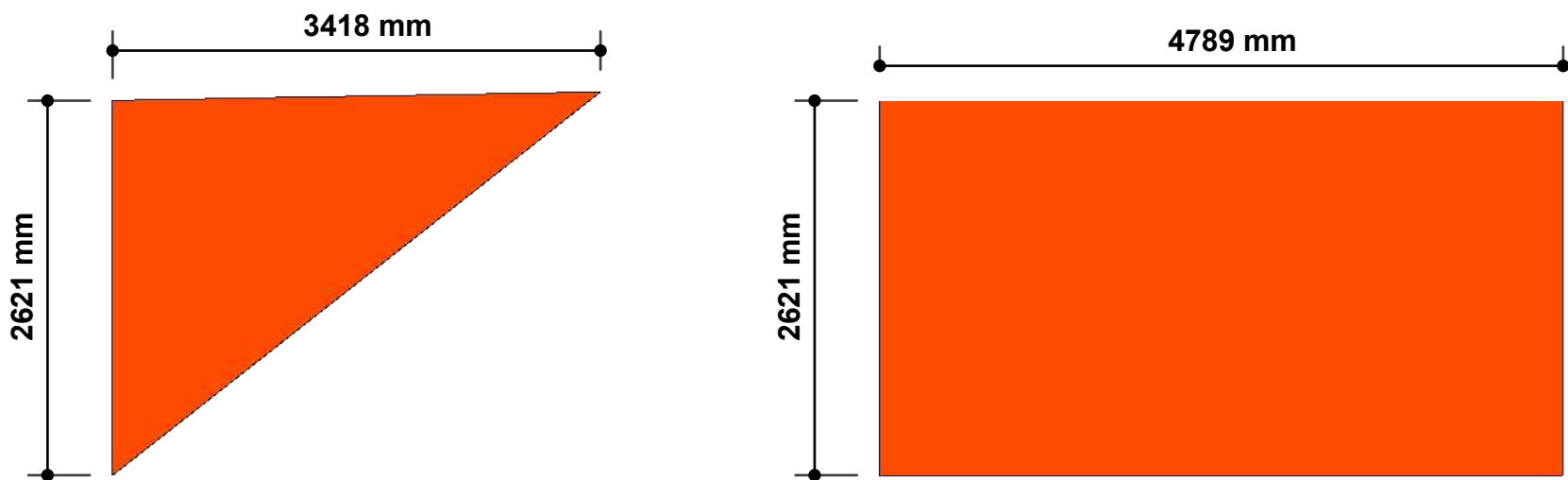
3D RENDER QR CODES



VOLUMETRIC CALCULATION:
Main Loft:
 $H\ 2.620 \times D\ 3.410 \times W\ 4.790/2 = 21.397$

Rear Addition:
a) $H\ 1.280 \times D\ 3.098 \times W\ 3.154 = 12.506$
b) $H1.120 \times D\ 3.000 \times W\ 3.154/2 = 5.341$

TOTAL = 39.244



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