

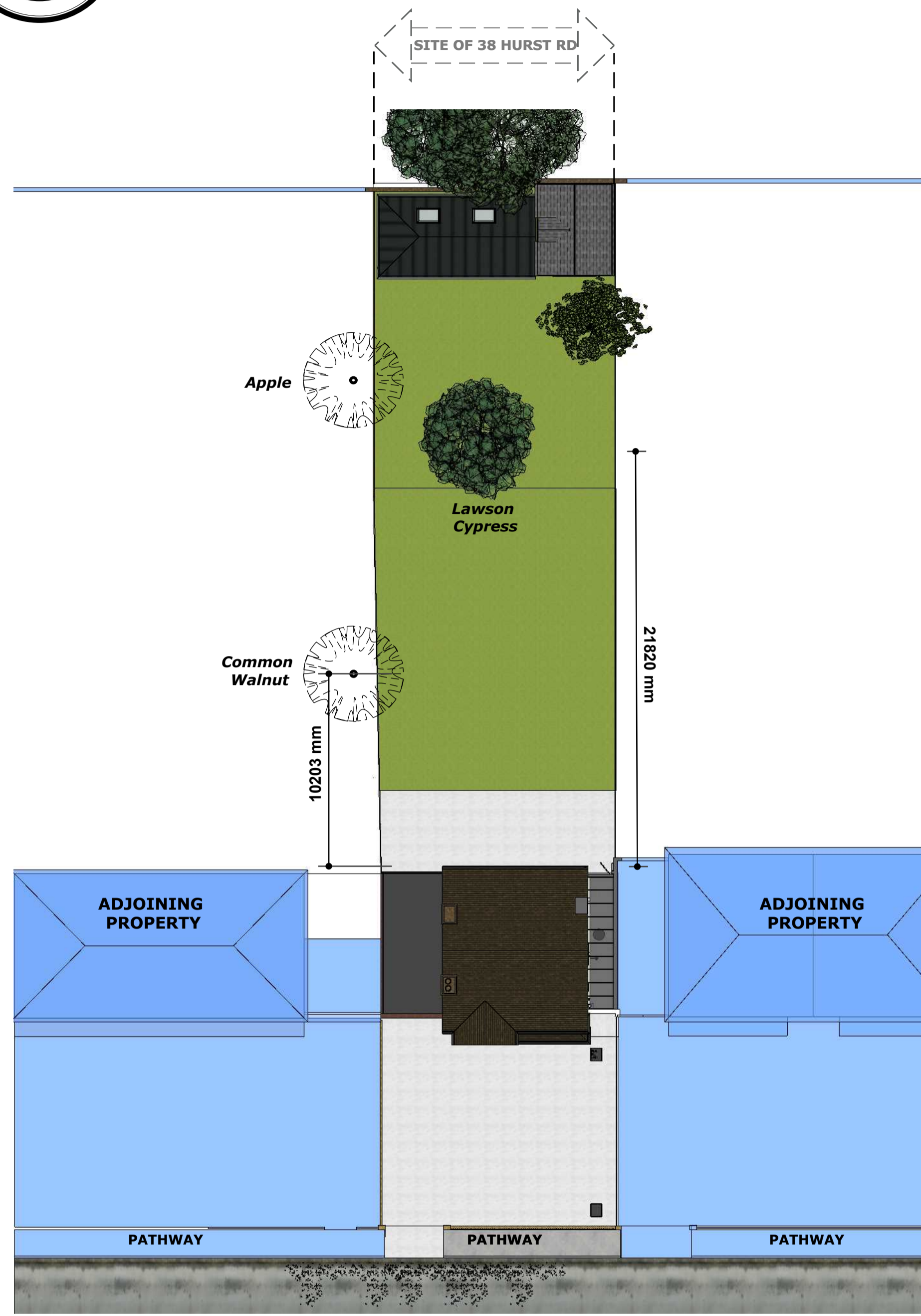
# GREAT WEST DESIGN



**GREAT WEST DESIGN**

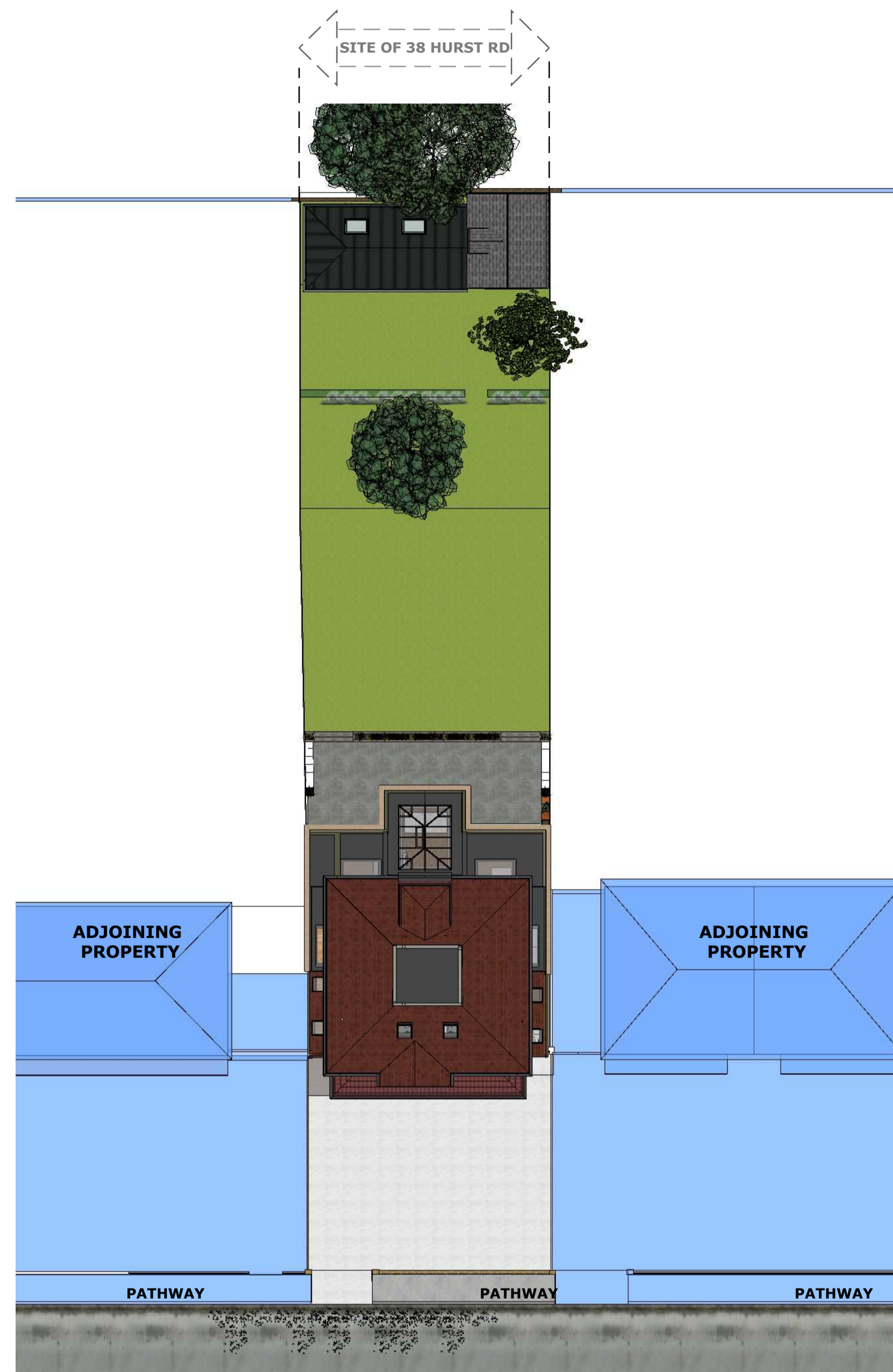
30 HEATH ROAD, TWICKENHAM, TW1 4BZ  
Tels: 020 8991 5838  
Email: [info@greatwestdesign.org](mailto:info@greatwestdesign.org)

20 Sept 2018  
RENEWAL DATE



HURST ROAD

EXISTINGSITE PLAN  
scale: 1:200



HURST ROAD

PROPOSED SITE PLAN  
scale: 1:200

**COORDINATION**

<span style="background-color: #90EE90; border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Preliminary Design	<span style="border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Building Upgrade
<span style="background-color: #90EE90; border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Planning Submitted	<span style="border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Building Control Sign off
<span style="background-color: #90EE90; border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Planning Granted	<span style="border: 1px solid black; width: 10px; height: 10px; display: inline-block;"></span> Thames Water



**NOTE:**  
 -The general contractor is responsible for the verification of all dimensions on site and shall inform the contract surveyor of any discrepancies.  
 -Do not scale from this drawing. Use figure dimension only.  
 -Existing foundations, lintels and wall to be exposed if required by building control for assessment and upgrading if found inadequate.  
 -Drawings copyright of Great West Design Ltd. Drawings to be used for stated purpose only.  
 -Note all drawings to be read in conjunction with engineers drawings.  
 -If there are any queries contractor to contact surveyor immediately.  
 -All stair dimensions are to be confirmed by installer prior to installation and any discrepancies to be brought to the attention of the surveyor.  
 -This drawing is for negotiations with the Local Authority Planning & Building Control departments.  
 -In the event that it is used for construction then the builder is responsible for checking on site all dimensions and relevant information prior to the commencement of works to ensure the accuracy of any information contained in the drawing. Any discrepancy must be notified before work commences.  
 -The drawing may only be used for the address shown and may not be copied without permission. These drawings are Copyright controlled.  
 -The final position of all walls and projections in relation to boundary must be agreed between building owners prior to any works carried out on site.  
 -All boundaries shown on the drawings are for illustration purposes only.  
 -All developments must comply with planning permissions and planning conditions approved by local authority

**NOTE: ALL FINAL LAYOUTS ARE TO BE AGREED BETWEEN THE CLIENT AND THE CONTRACTOR PRIOR TO WORKS STARTING ON SITE. THE POSITION, TYPE, MAKE AND STYLE OF MATERIALS ARE FOR ILLUSTRATION PURPOSES ONLY**

**NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEERS CALCULATIONS AND SPECIFICATION**

**DRAWINGS TO BE APPROVED BY BUILDING CONTROL DEPARTMENT PRIOR TO WORKS COMMENCING ON SITE**



FRONT



REAR

**DESIGN TEAM PROJECT DATA**

**OWNER:**  
 NAME: Mr Mike Foley  
 ADDRESS: 38 Hurst Rd

**ARCHITECT:**  
 NAME: Great West Design  
 ADDRESS: 30 Heath Road, Twickenham, Tw1 4bz

**LAND SURVEYOR:**  
 FIRM:  
 ADDRESS:  
 TEL:

**STRUCTURAL ENGINEER:**  
 NAME: Great West Design  
 ADDRESS: 30 Heath Road, Twickenham, Tw1 4bz

**ENGINEER:**  
 FIRM:  
 ADDRESS:

**GEOTECHNICAL ENGINEER:**  
 FIRM:  
 ADDRESS:

**BUILDING AREA:**  
 AREA:

**SITE COVERAGE:**  
 PARCEL AREA:

**TOTAL IMPERVIOUS COVERAGE:**  
**TOTAL ALLOWABLE IMPERVIOUS COVERAGE:**

**CONSTRUCTION SUMMARY:**  
 CONSTRUCTION TYPE:

**THAMES WATER DETAIL**

1.0 - No work causing release of sewer atmosphere may be carried out to any part of the public sewerage system unless a Thames Water Operational Safety Authorisation (TWSOA) is in force. The Contractor shall contact Thames Water for the issue of the authorisation.

2.0 - No additional loads are to be transmitted to the sewer by the proposed works.

3.0 - Where the invert of the sewer is less than or equal to 1.5 metres below finished ground level, proposed foundations are to be a minimum of 0.6 metres from the public sewer.

4.0 - Where the invert of the sewer is greater than 1.5 metres below finished ground level, proposed foundations are to be a minimum of 1.0 metre from the public sewer.

5.0 - MANHOLES ON THE PUBLIC SEWER SHALL NOT BE BUILT OVER OR LOCATED INSIDE PROPOSED STRUCTURES (even with new double sealed top down covers).

6.0 - Where the public sewer is less than or equal to 1.5 metres deep, no structure shall be built in contact with, or over any part of adjacent public manholes.

7.0 - Where the depth to the public sewer is greater than 1.5 metres, no structure shall be built within 1.0 metres of the public manhole structure.

8.0 - All connections to the public sewer to be at a manhole or via a clay pre-formed junction. Saddles are not permitted.

9.0 - More than four building over agreements in a row will not be permitted on a length of public sewer without an external manhole being available for suitable operational access.

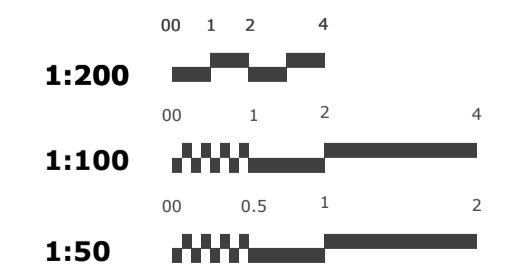
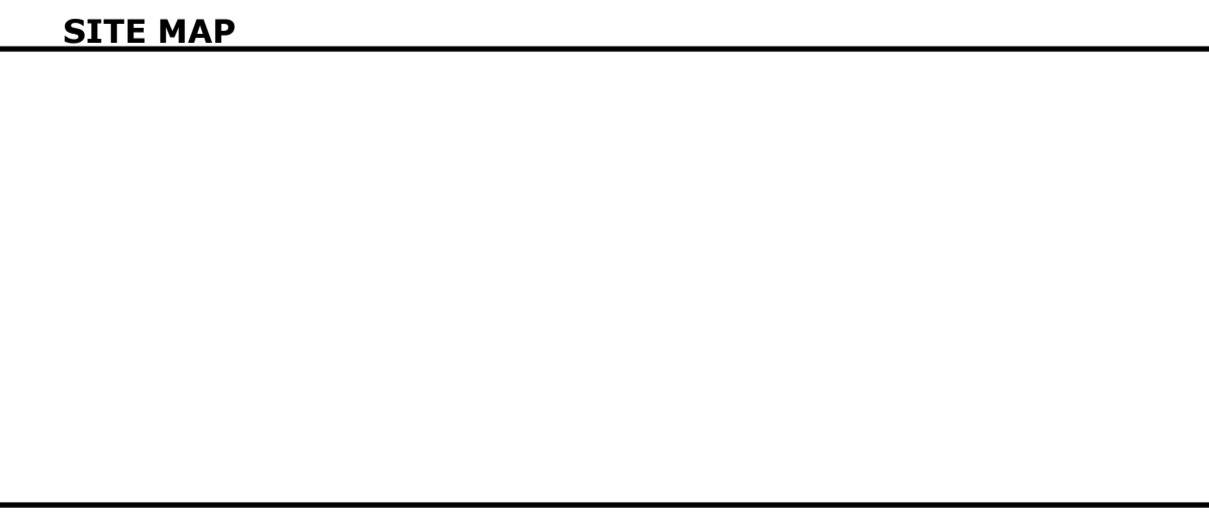
10.0 - New manholes to be in accordance with Table 12 of Approved Document H1.

11.0 - If the householder or Building Control requests that a survey be carried out, this would not obligate. All such surveys shall be carried out at the householder's expense.

12.0 - It should be noted that sewers of this type are occasionally found to have minor defects such as mis-aligned joints (often since new) or hairline cracking. Pipes in this condition would be accepted by TW as being in a serviceable condition.

13.0 - Plastic pipes and fittings are not accepted on the public sewers.

14.0 - Proposed foundations to be constructed within 1.5 metres of the public sewer shall be taken to a depth equal to or greater than the sewer invert.

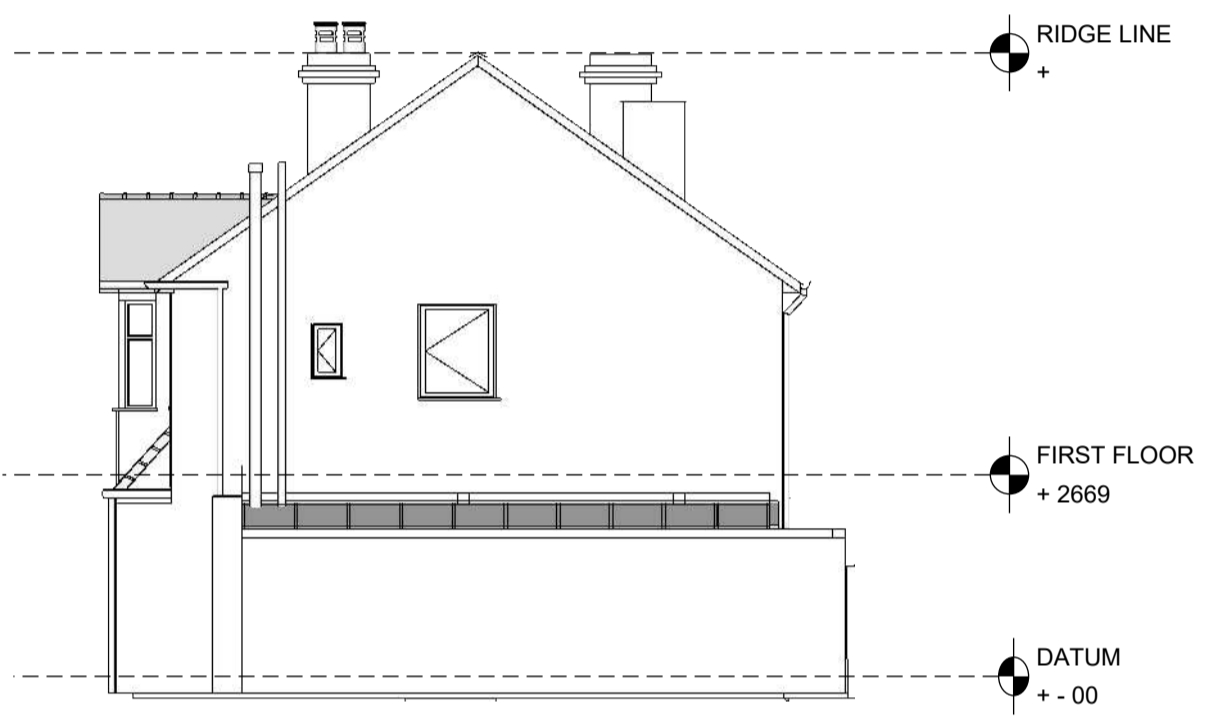


GREAT WEST DESIGN

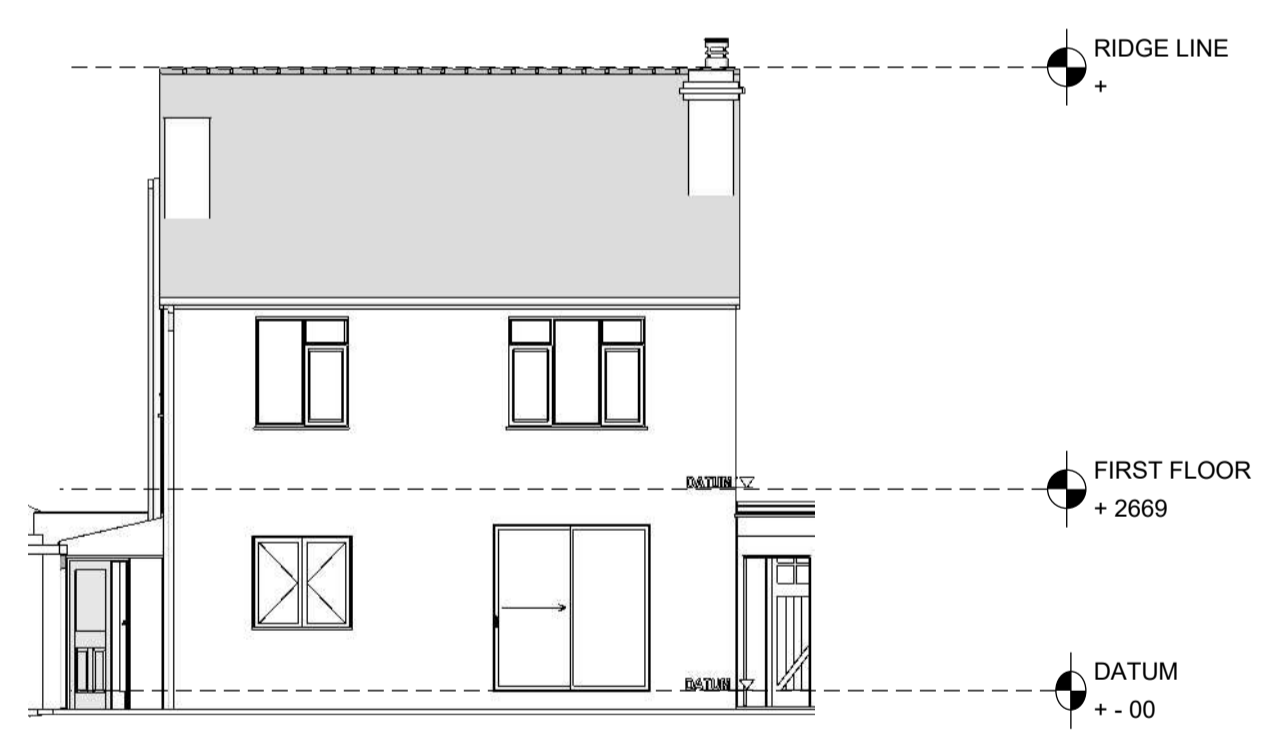
20 Sept 2018  
RENEWAL DATE



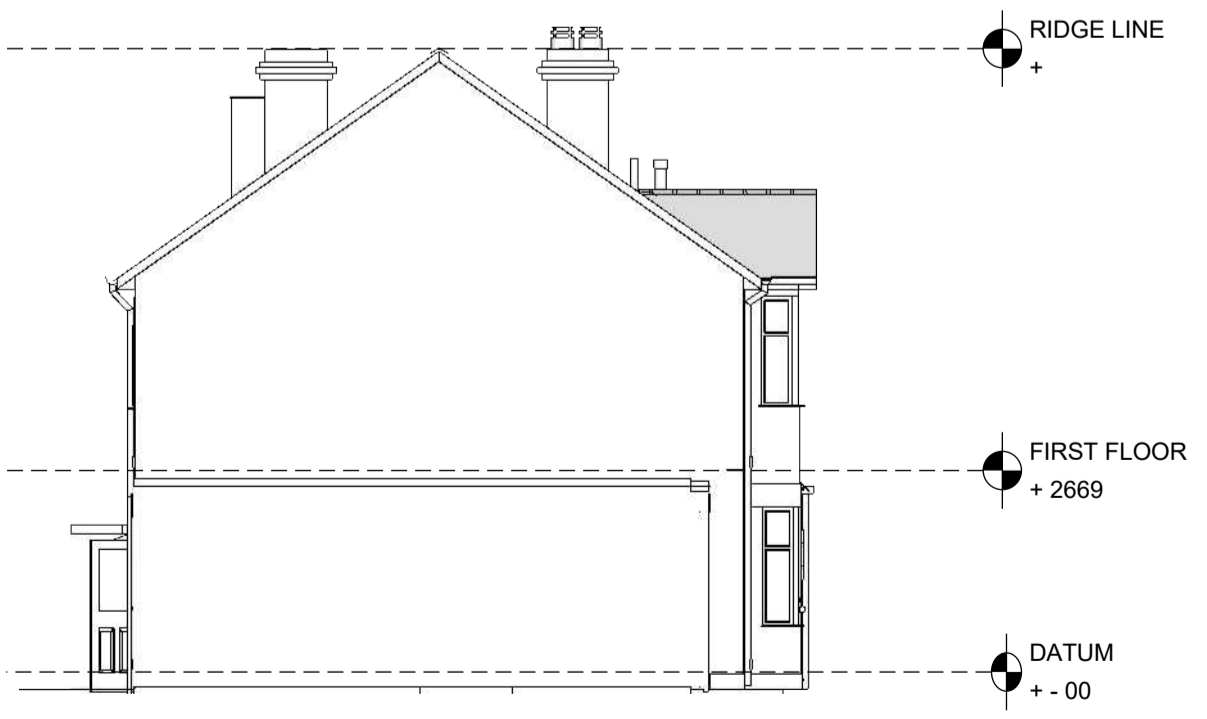
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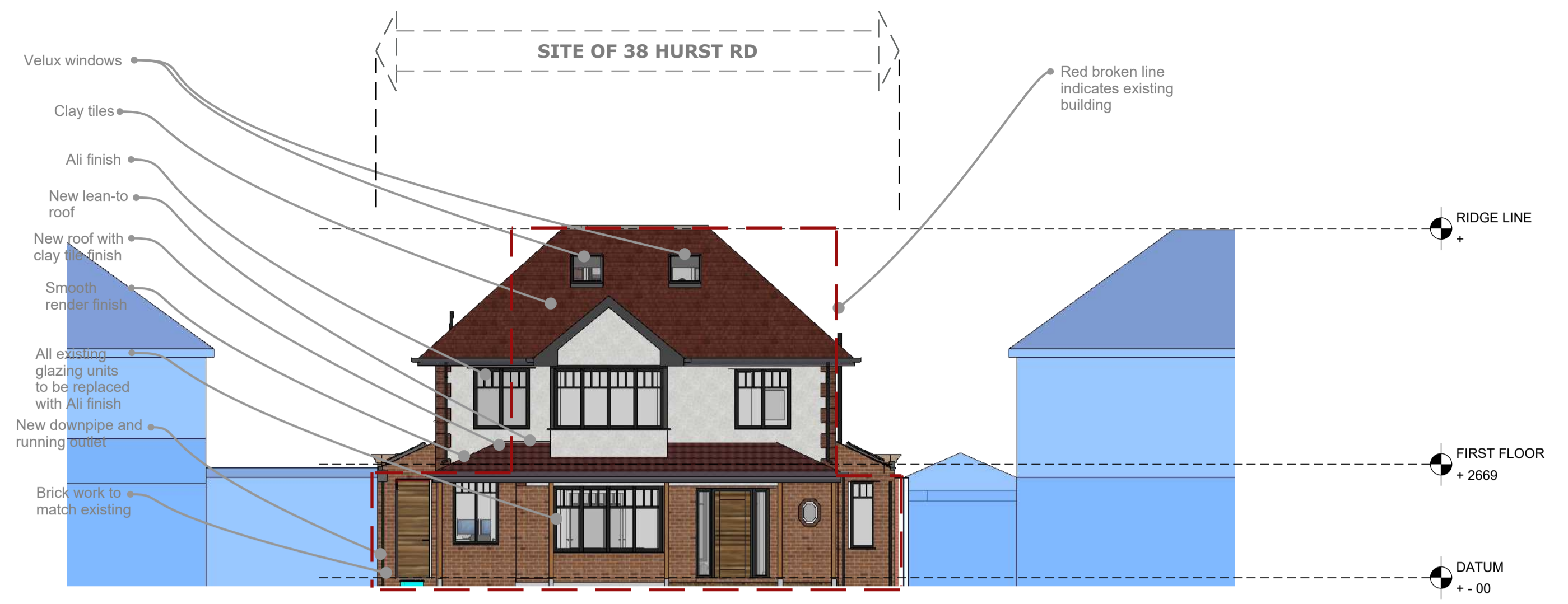
**EXISTING SIDE ELEVATION**  
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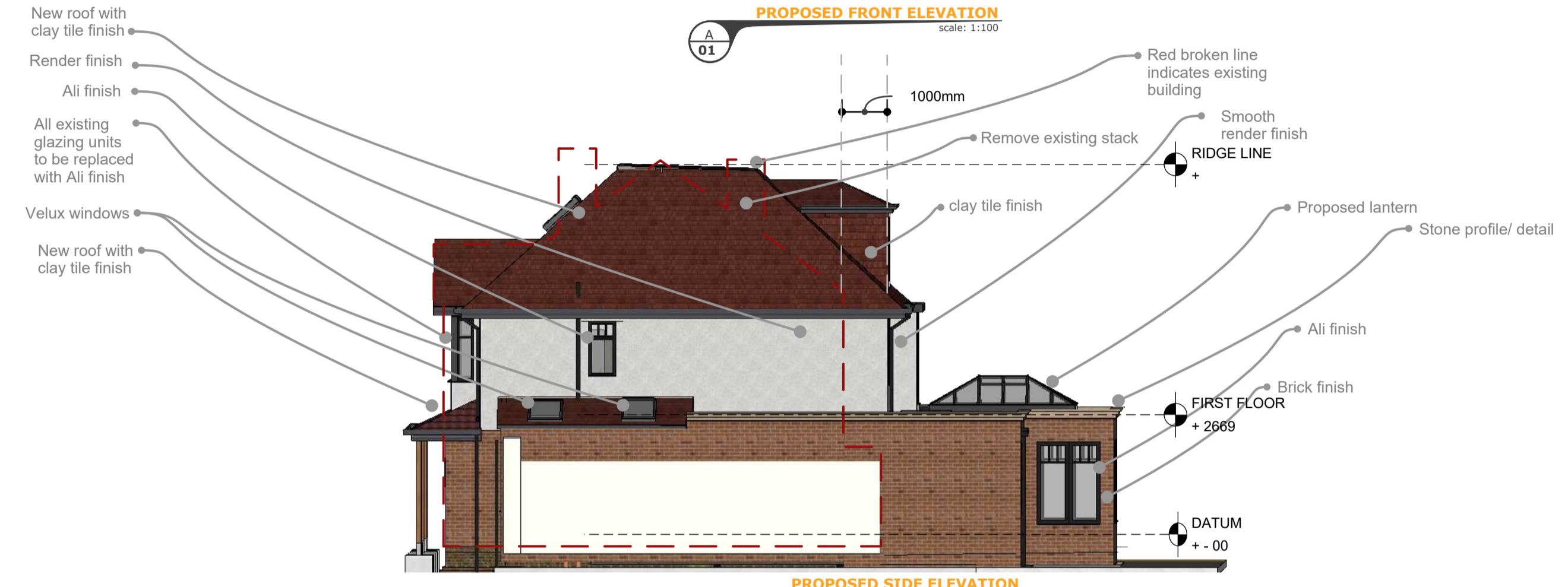
**EXISTING REAR ELEVATION**  
scale: 1:100



**EXISTING SIDE ELEVATION**  
scale: 1:100



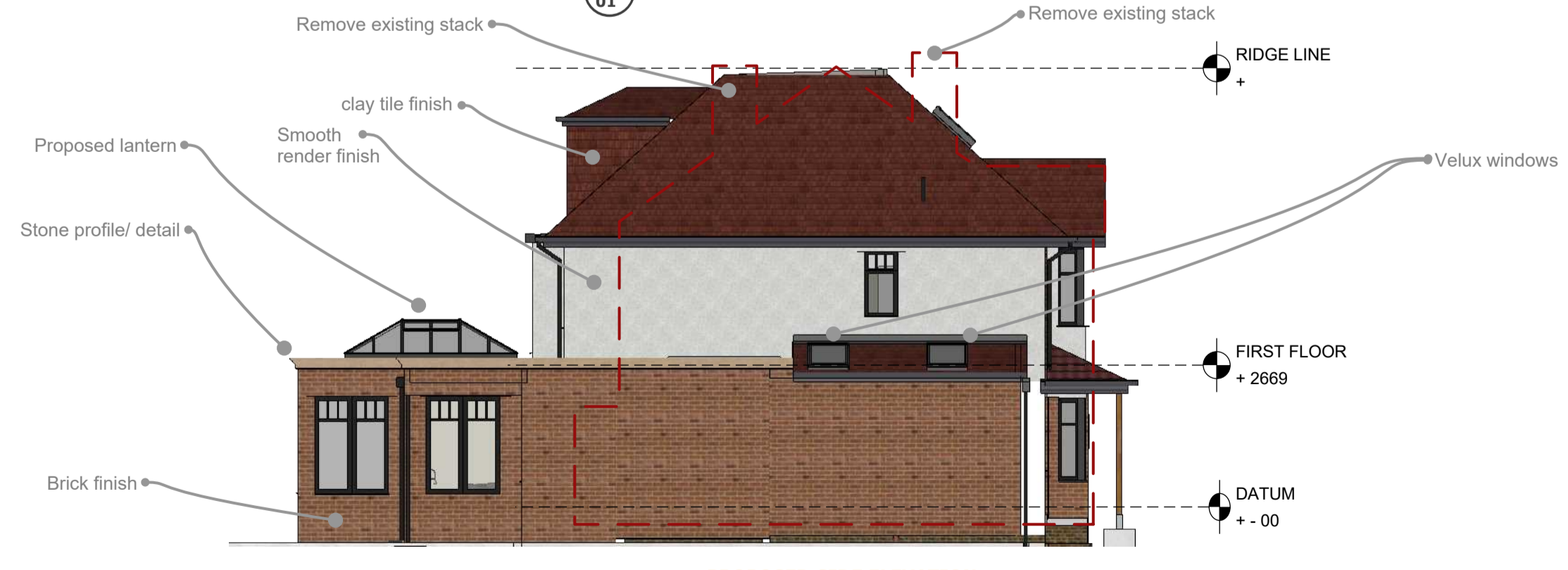
**PROPOSED FRONT ELEVATION**  
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**PROPOSED SIDE ELEVATION**  
scale: 1:100



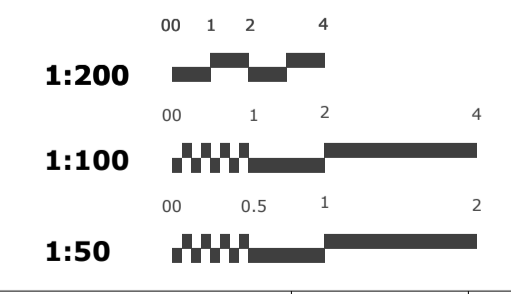
**PROPOSED REAR ELEVATION**  
scale: 1:100



**PROPOSED SIDE ELEVATION**  
scale: 1:100

**COORDINATION**

<span style="color: green;">■</span> Preliminary Design	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Upgrade
<span style="color: green;">■</span> Planning Submitted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Control Sign off
<span style="color: green;">■</span> Planning Granted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Thames Water



All structural openings and steel lengths must be measured on site before steel beams are ordered and over all length of each steel to be checked against structural calculations and detailed drawings

NOTE: ON THE DAY THE SURVEY OF THE BUILDING WAS CARRIED OUT, THERE WERE NOTABLE DISCREPANCIES IN THE DIMENSIONS TAKEN. THIS IS DUE TO THE AGE OF THE BUILDING. CONTRACTOR IS TO TAKE THIS IN TO CONSIDERATION

NOTE: Party Wall Structure/ 3M/ Line of Junction notice) to be signed and agreed with affected neighbouring property/properties a minimum of 60 days prior to building works commencing on site

SITE OF 38 HURST RD

ALL OUTSIDE SURFACES AND FINISHED MATERIALS TO BE AGRRED WITH CLIENT PRIOR TO WORKS STARTING ON SITE

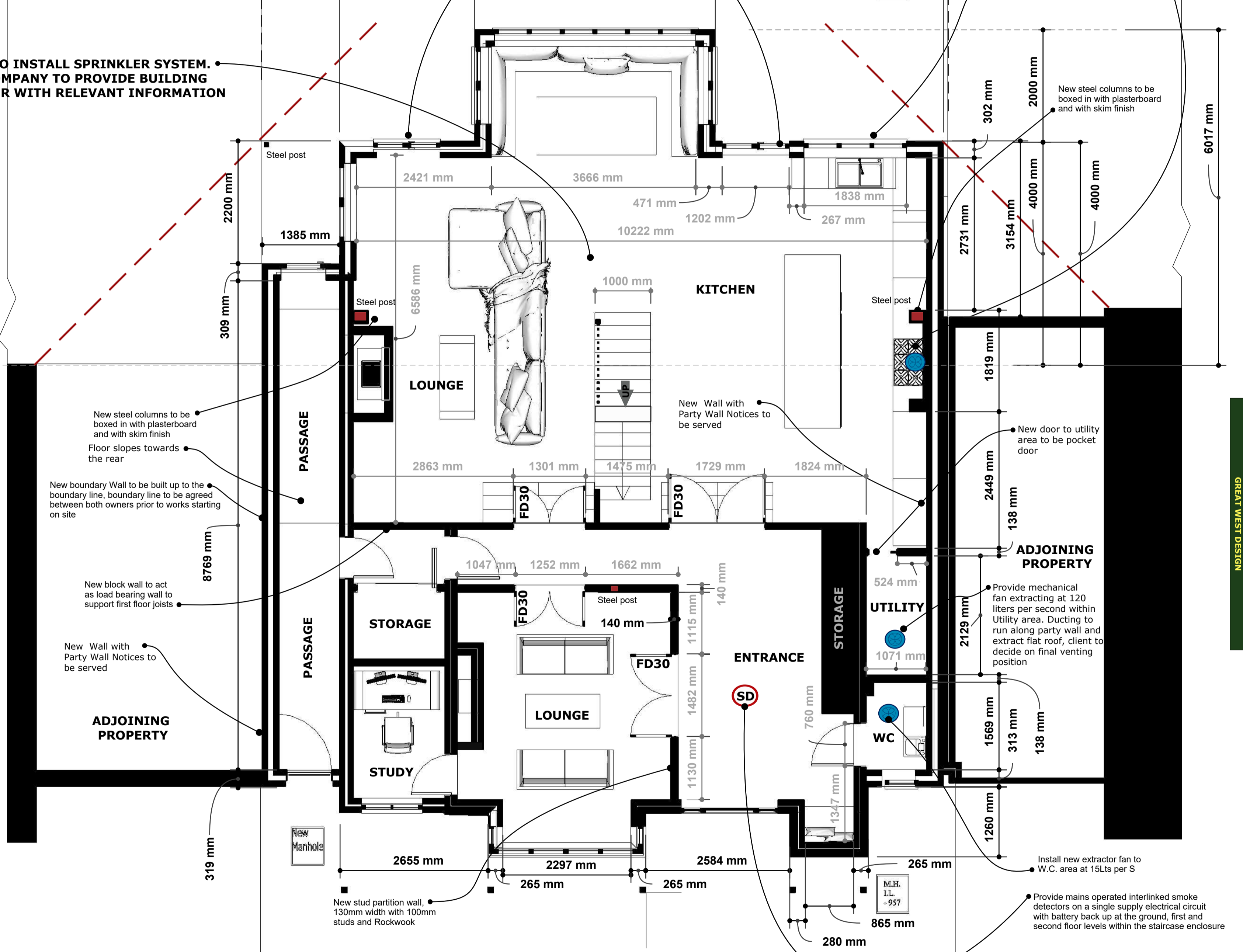
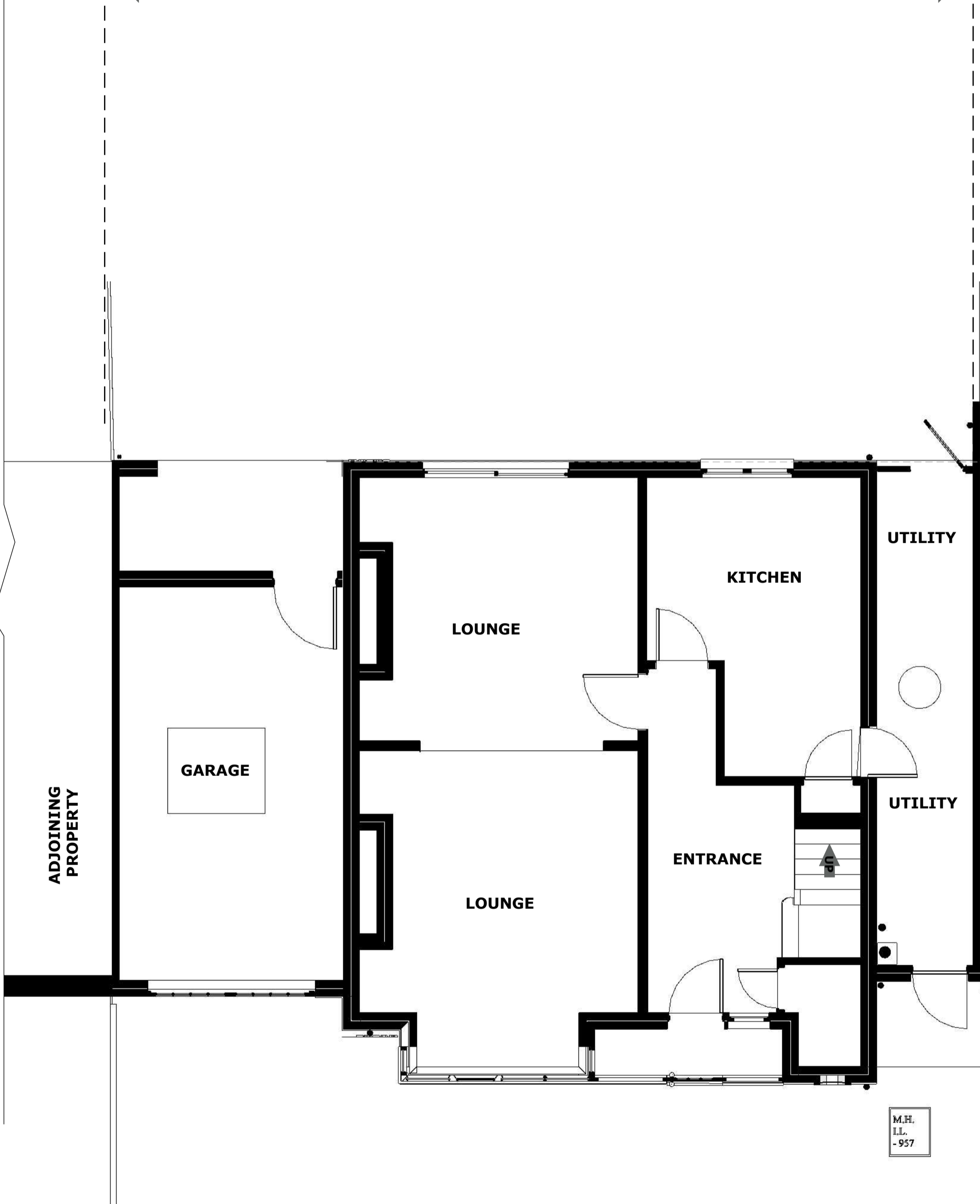
ALL FLOOR FINISHES TO BE AGRRED WITH CLIENT PRIOR TO WORKS STARTING ON SITE

Provide mechanical fan to Kitchen extracting at 30 liters per second within downdraft extractor. Alternative solution, install mechanical fan extracting at 60 liters per second within kitchen area, client to decide on final venting position

NOTE: Window and door style, type to be agreed with client and setting of all windows to be agreed with client prior to installation

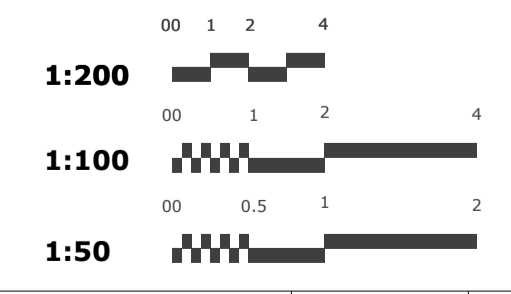
CONTRACTOR TO INSTALL SPRINKLER SYSTEM. APPOINTED COMPANY TO PROVIDE BUILDING CONTROL OFFICER WITH RELEVANT INFORMATION

SITE OF 38 HURST RD



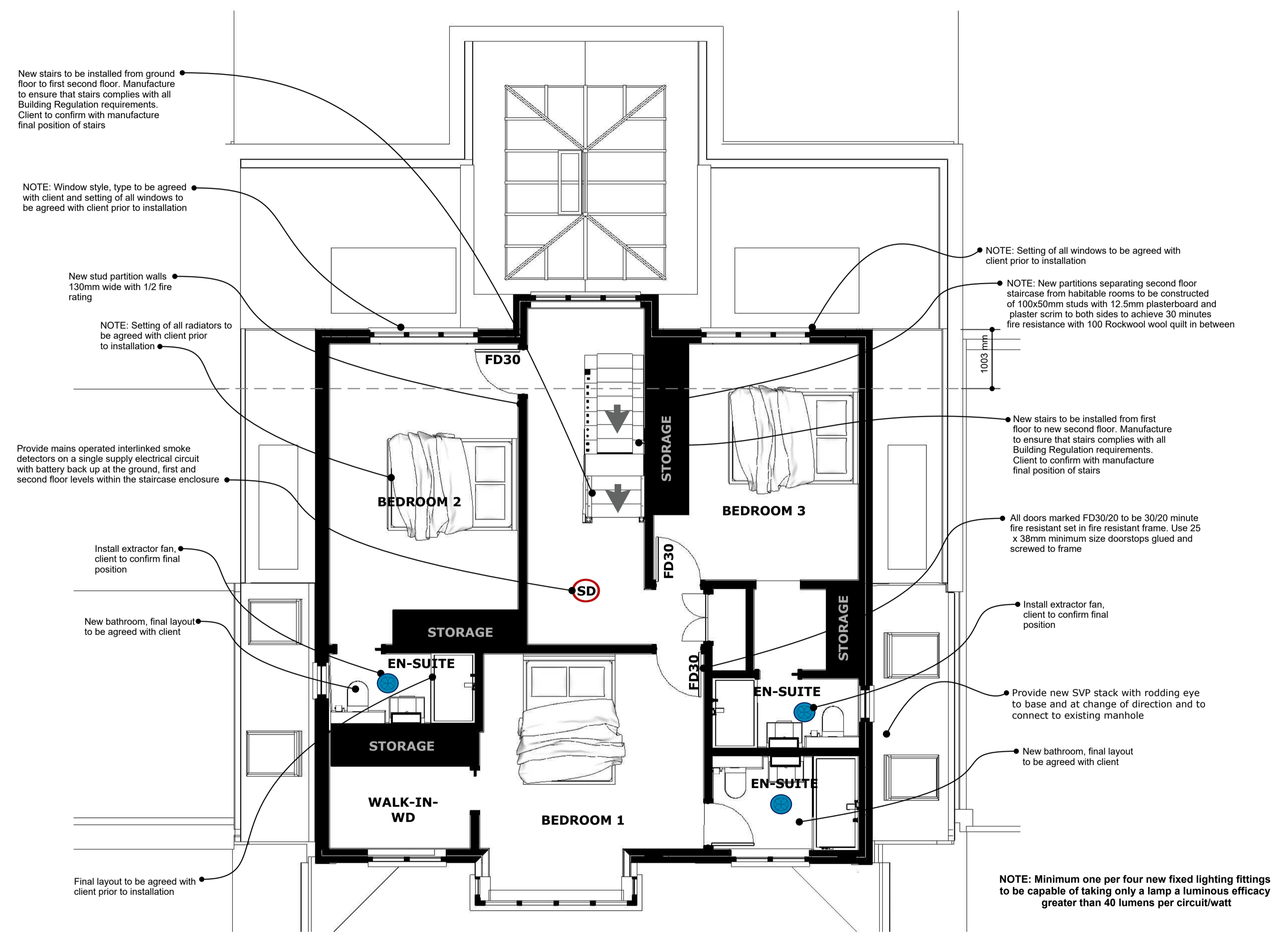
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**EXISTING FIRST PLAN**  
scale: 1:50



**PROPOSED FIRST PLAN**  
scale: 1:50

New stairs to be installed from ground floor to first second floor. Manufacture to ensure that stairs complies with all Building Regulation requirements. Client to confirm with manufacture final position of stairs

NOTE: Window style, type to be agreed with client and setting of all windows to be agreed with client prior to installation

New stud partition walls 130mm wide with 1/2 fire rating

NOTE: Setting of all radiators to be agreed with client prior to installation

Provide mains operated interlinked smoke detectors on a single supply electrical circuit with battery back up at the ground, first and second floor levels within the staircase enclosure

Install extractor fan, client to confirm final position

New bathroom, final layout to be agreed with client

Final layout to be agreed with client prior to installation

NOTE: Setting of all windows to be agreed with client prior to installation

NOTE: New partitions separating second floor staircase from habitable rooms to be constructed of 100x50mm studs with 12.5mm plasterboard and plaster scrim to both sides to achieve 30 minutes fire resistance with 100 Rockwool wool quilt in between

New stairs to be installed from first floor to new second floor. Manufacture to ensure that stairs complies with all Building Regulation requirements. Client to confirm with manufacture final position of stairs

All doors marked FD30/20 to be 30/20 minute fire resistant set in fire resistant frame. Use 25 x 38mm minimum size doorstops glued and screwed to frame

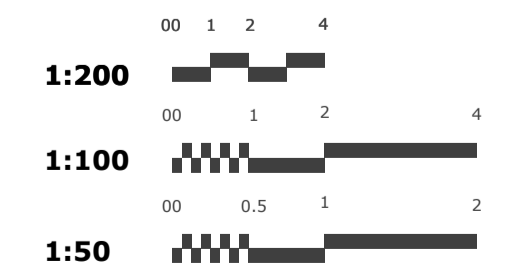
Install extractor fan, client to confirm final position

Provide new SVP stack with rodding eye to base and at change of direction and to connect to existing manhole

New bathroom, final layout to be agreed with client

NOTE: Minimum one per four new fixed lighting fittings to be capable of taking only a lamp a luminous efficacy greater than 40 lumens per circuit/watt

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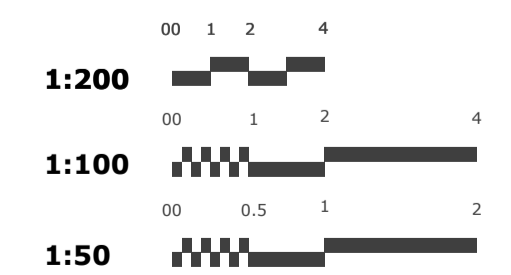


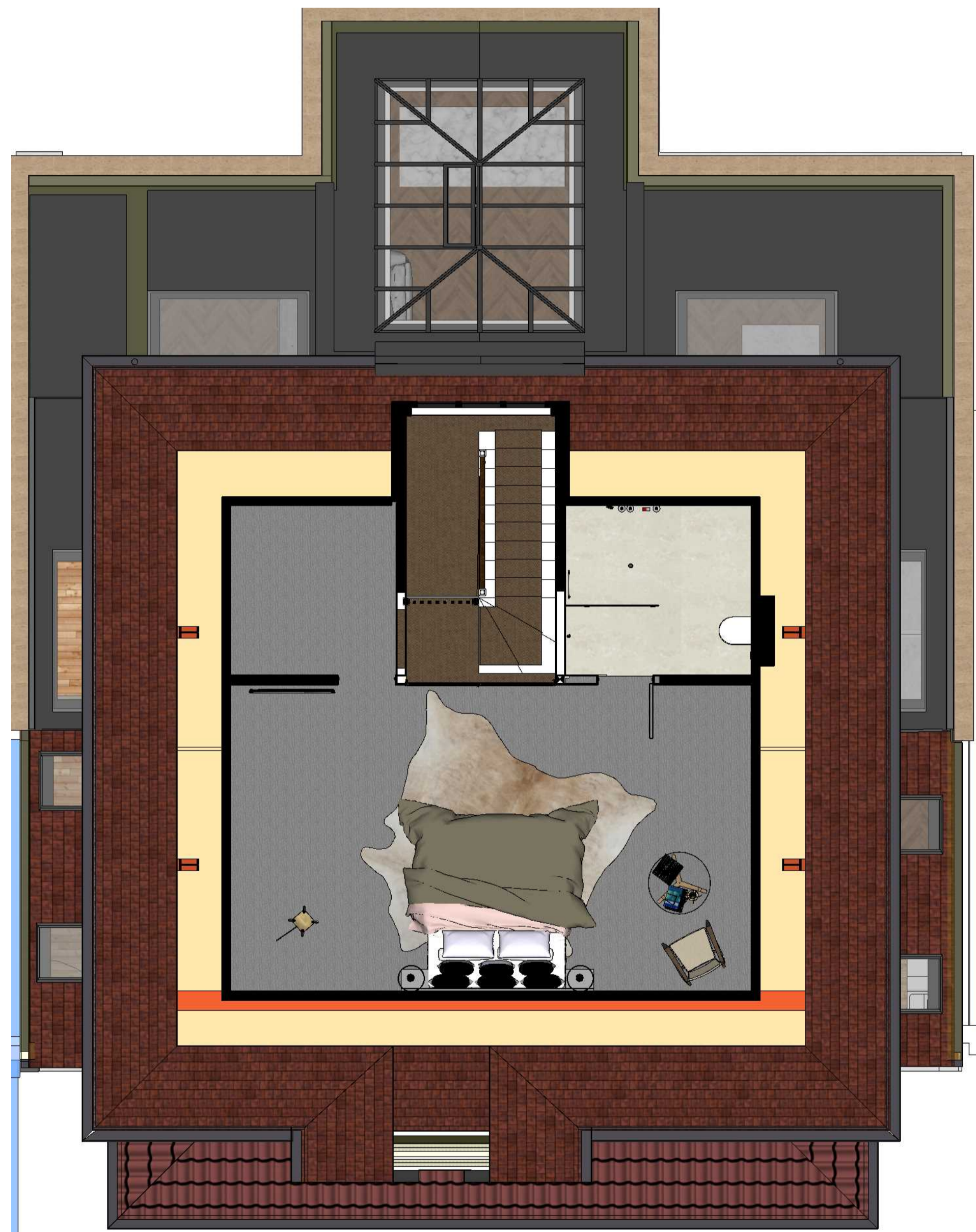
**PROPOSED GROUND FLOOR PLAN**  
Scale: 1:50



**PROPOSED FIRST PLAN**  
Scale: 1:50

COORDINATION	
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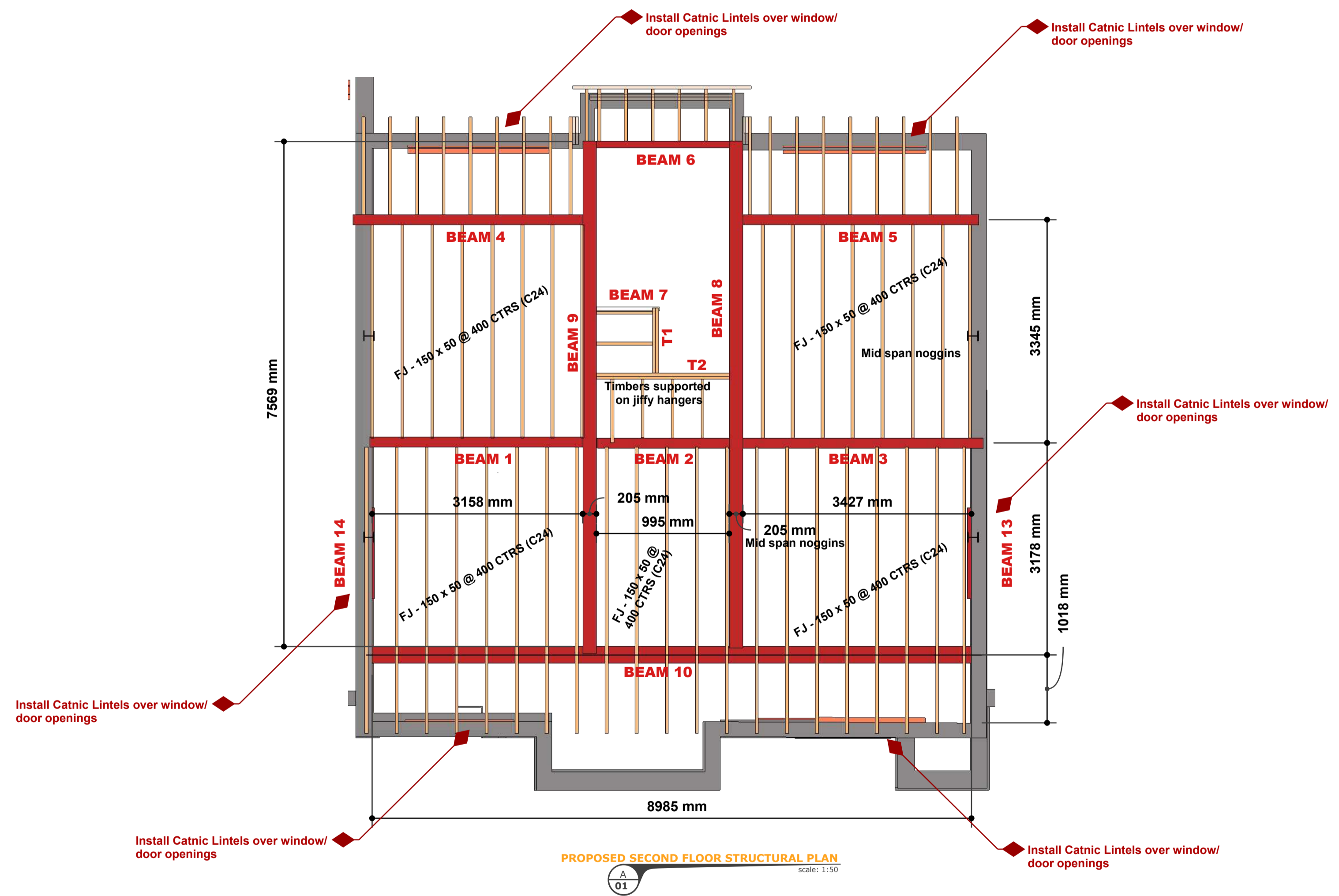




**PROPOSED SECOND FLOOR PLAN**  
scale: 1:50

All structural openings and steel lengths must be measured on site before steel beams are ordered and over all length of each steel to be checked against structural calculations and detailed drawings

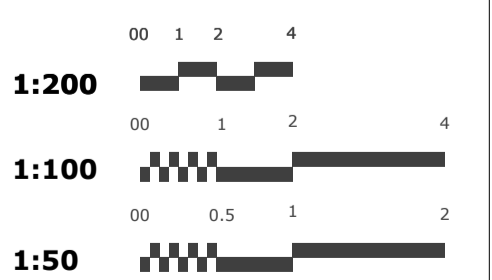
CONTRACTOR TO FACTOR IN SITE BUILDING DISCREPANCIES DO TO AGE OF PROPERTY

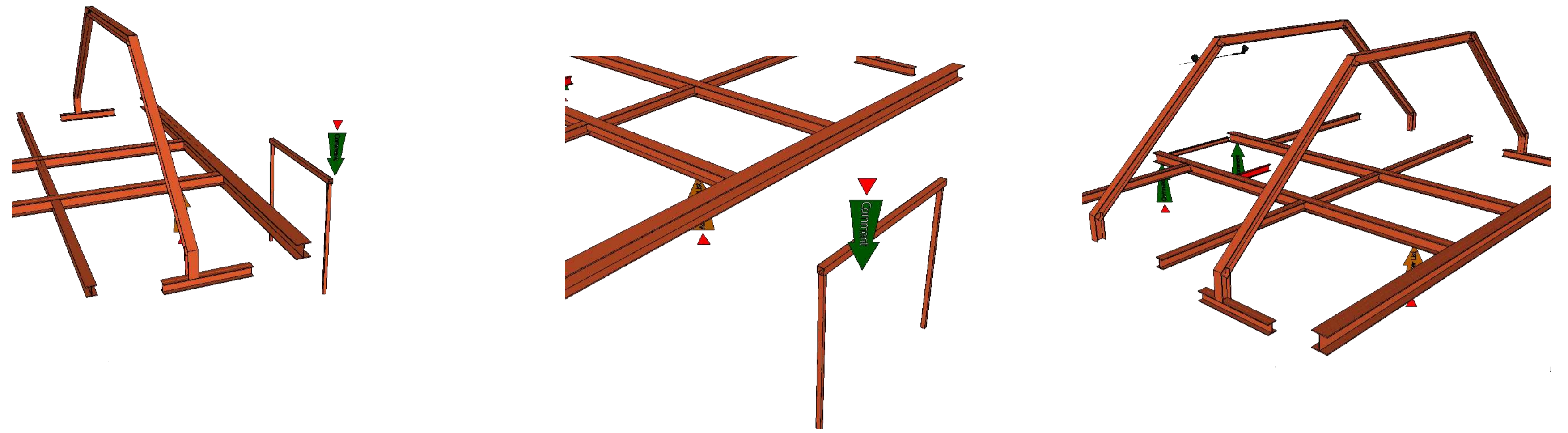
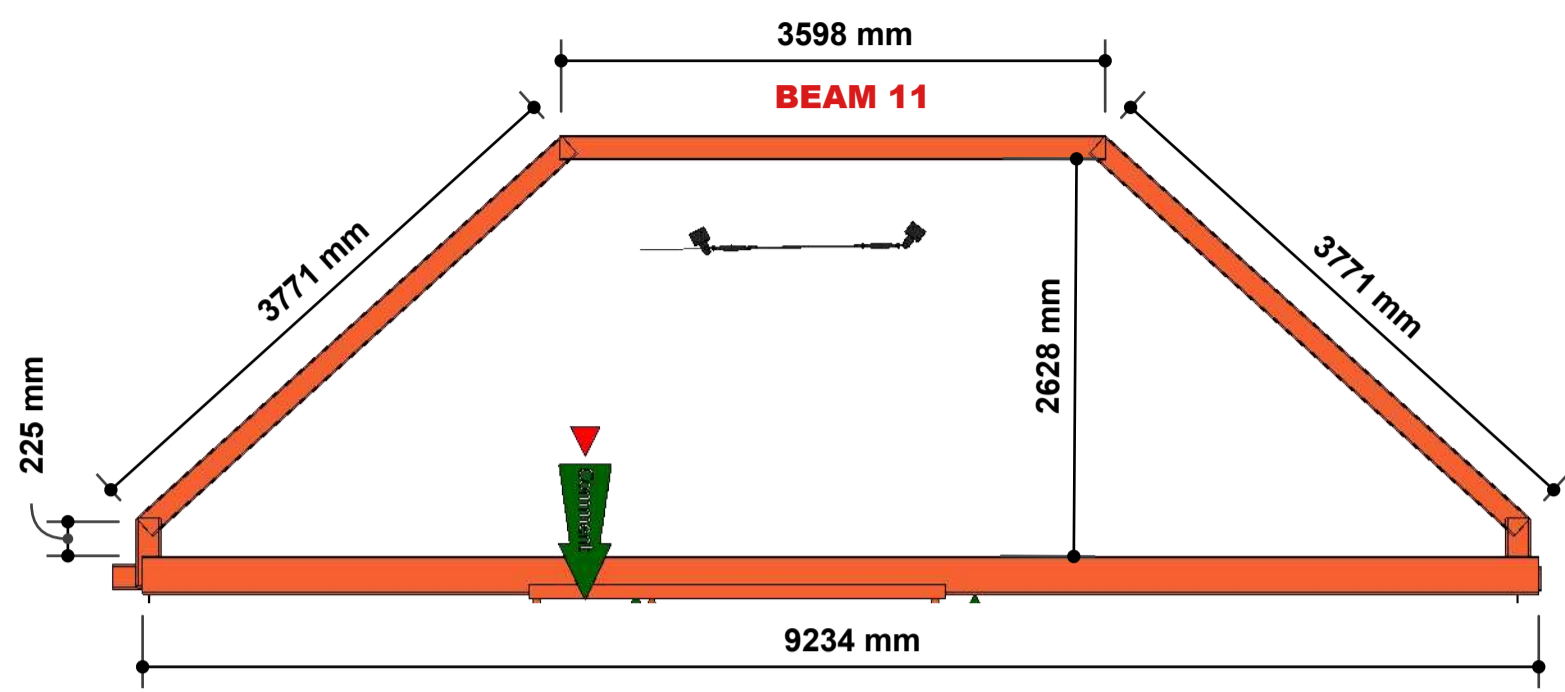


**PROPOSED FIRST PLAN**  
scale: 1:50

COORDINATION

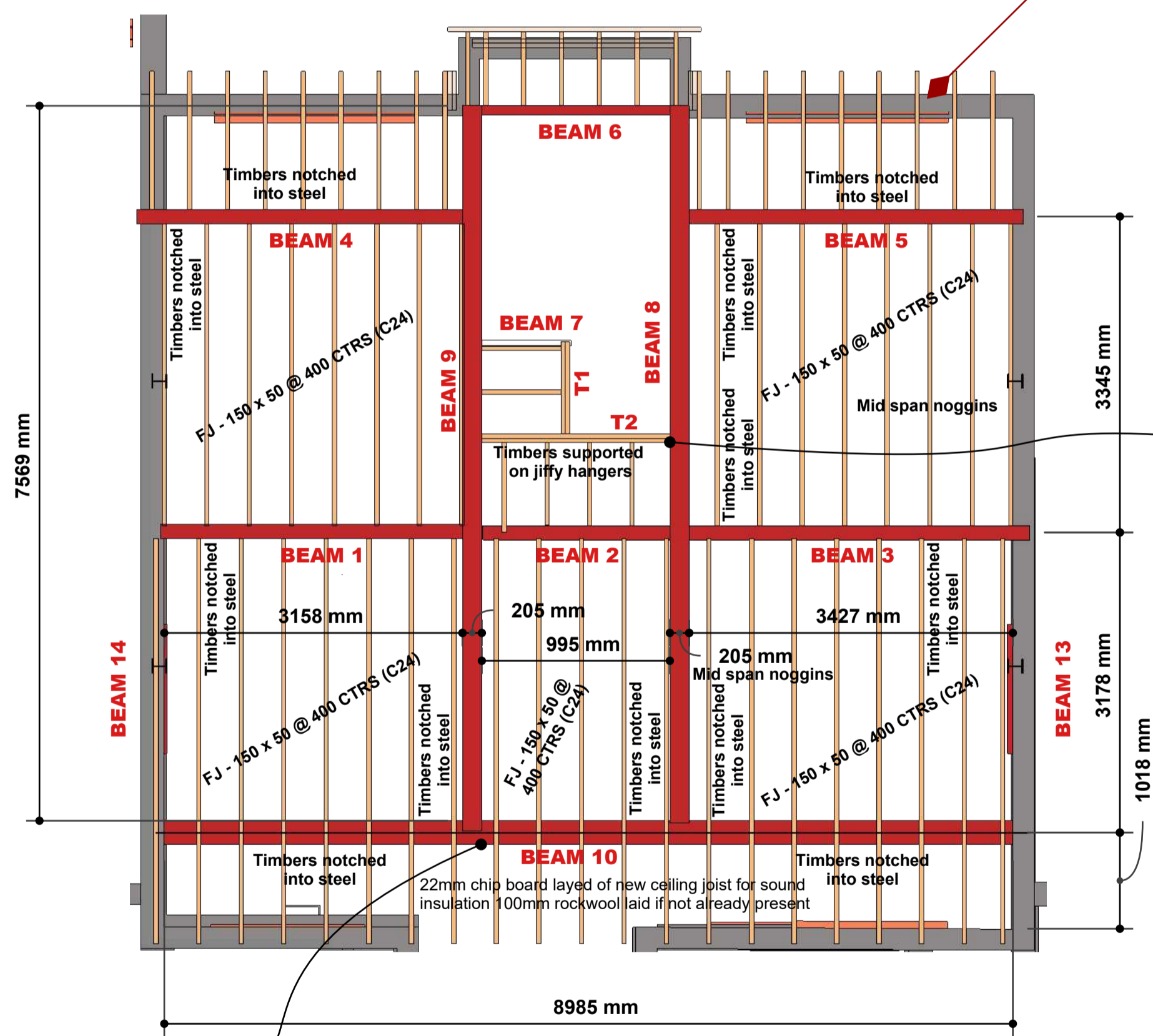
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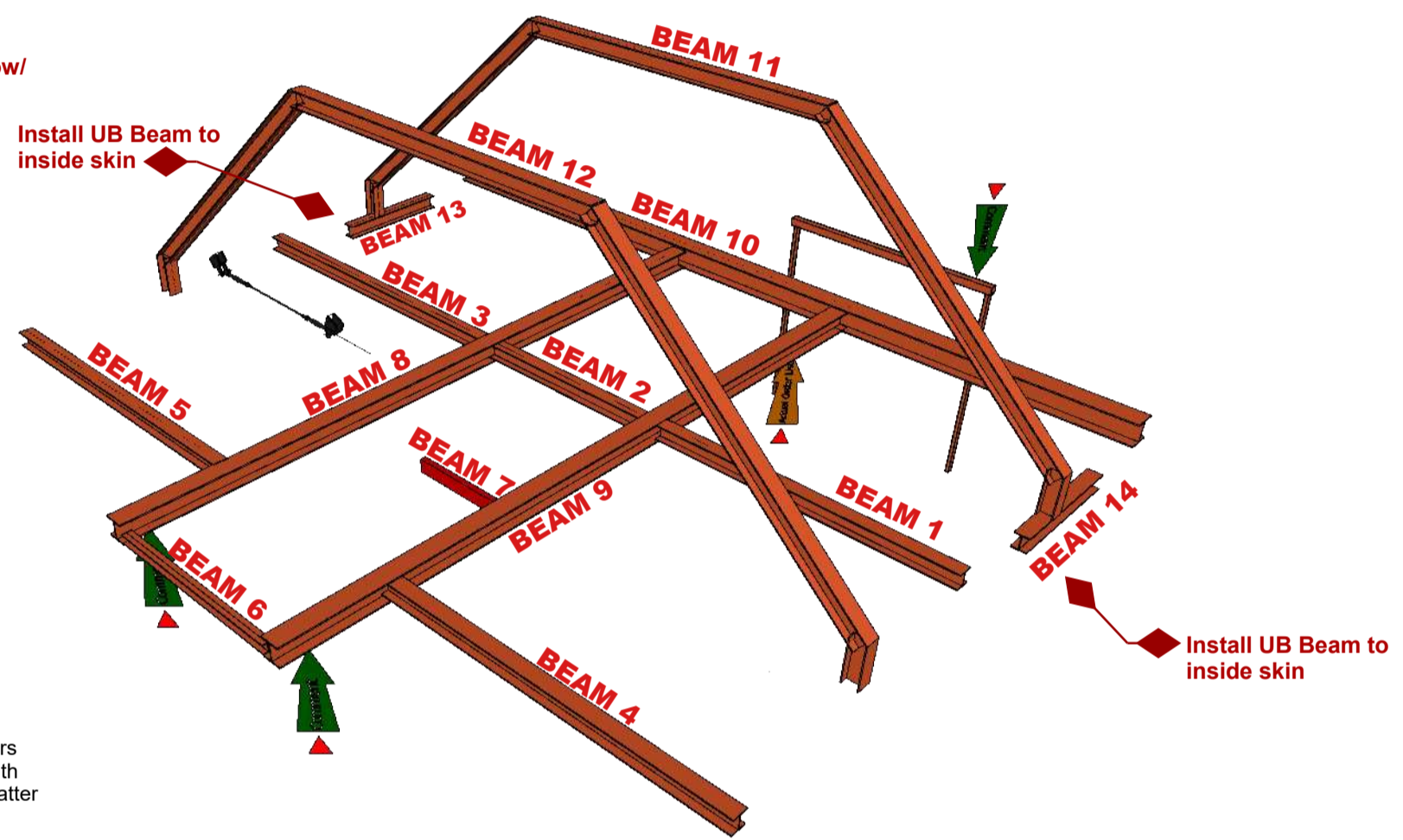
CONTRACTOR TO FACTOR IN SITE BUILDING DISCREPANCIES DO TO AGE OF PROPERTY

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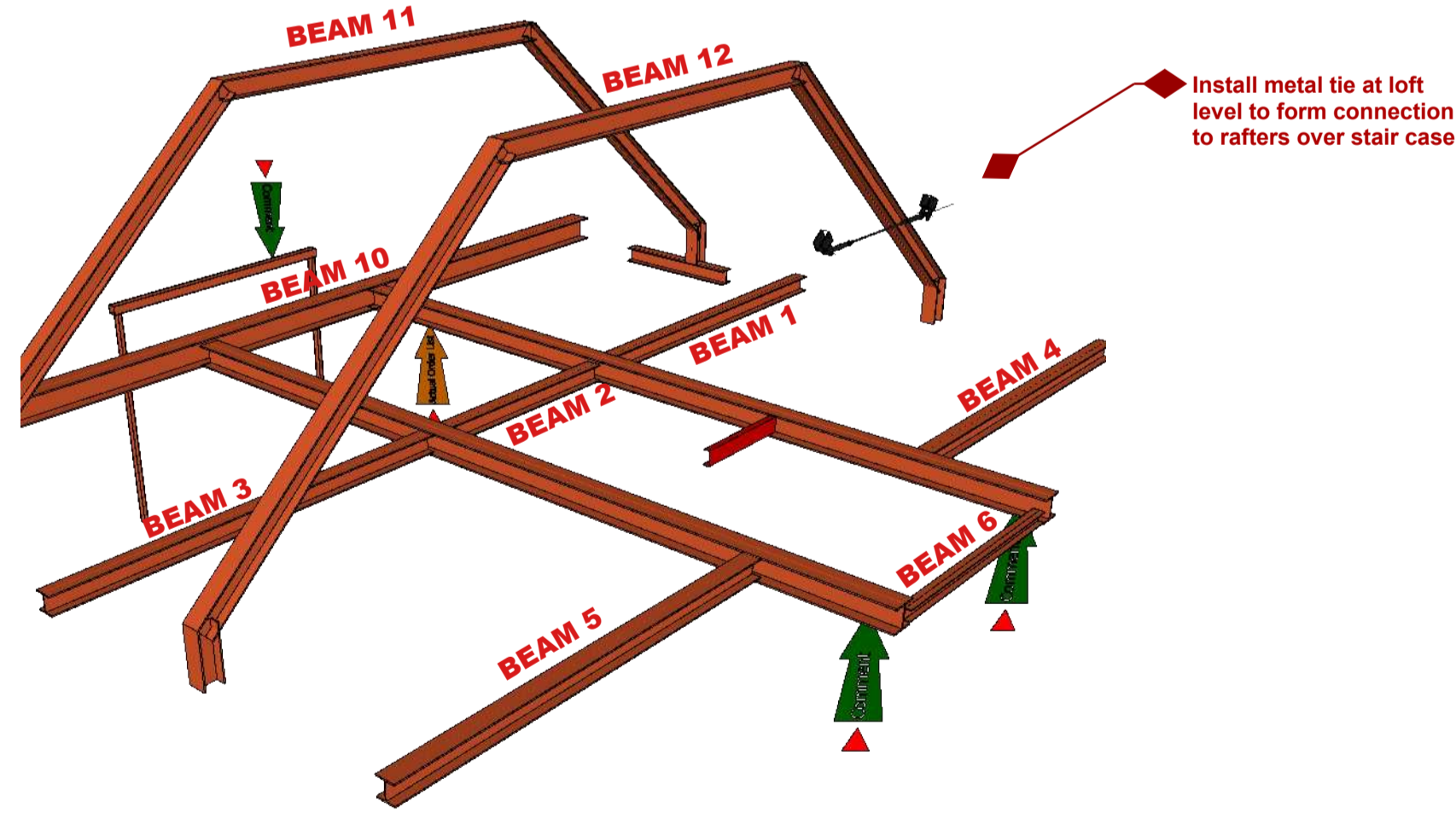


All structural steel floor members to be coated with Nulliflur intumescent paint to achieve full half hours fire resistance

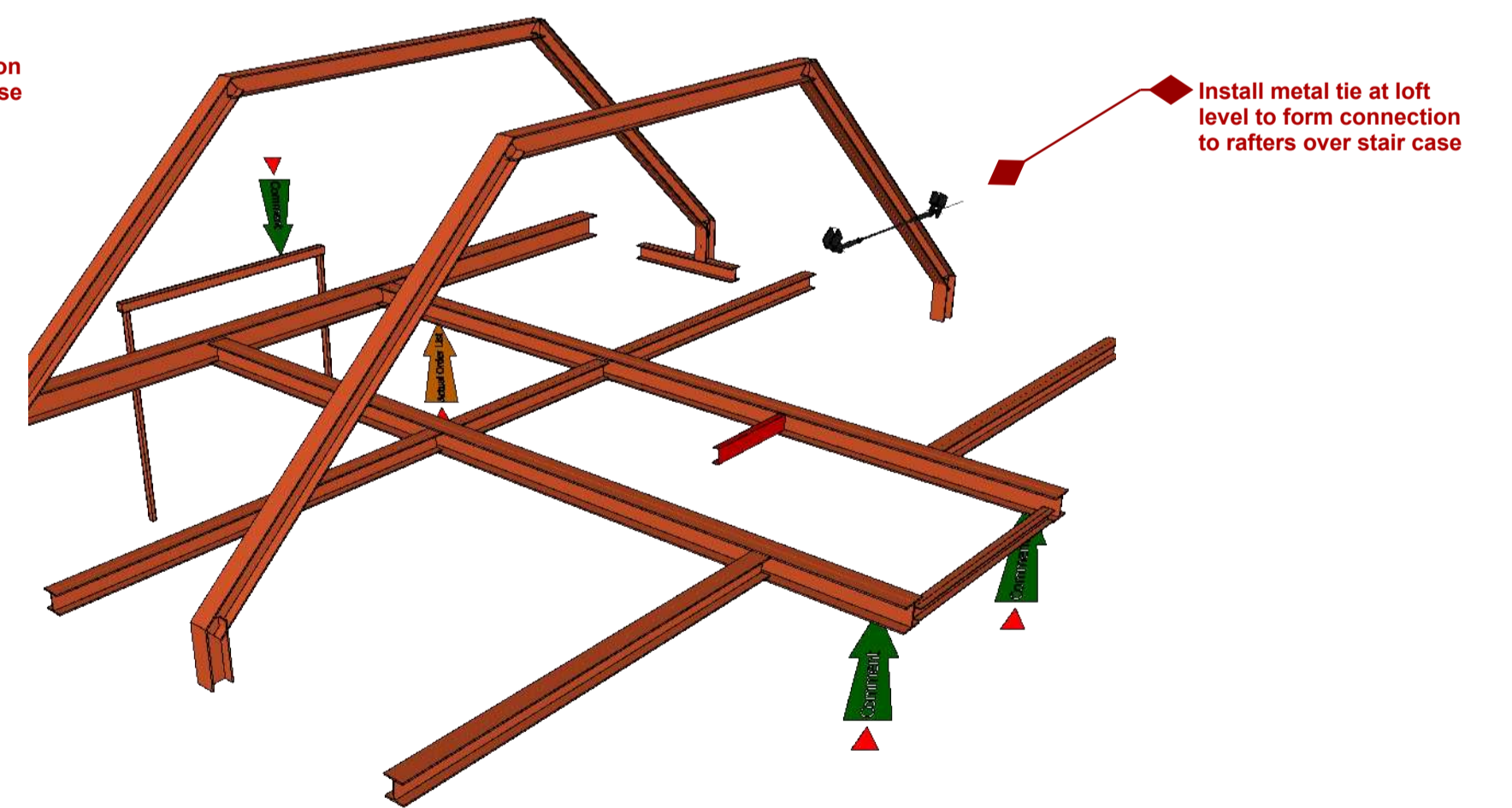
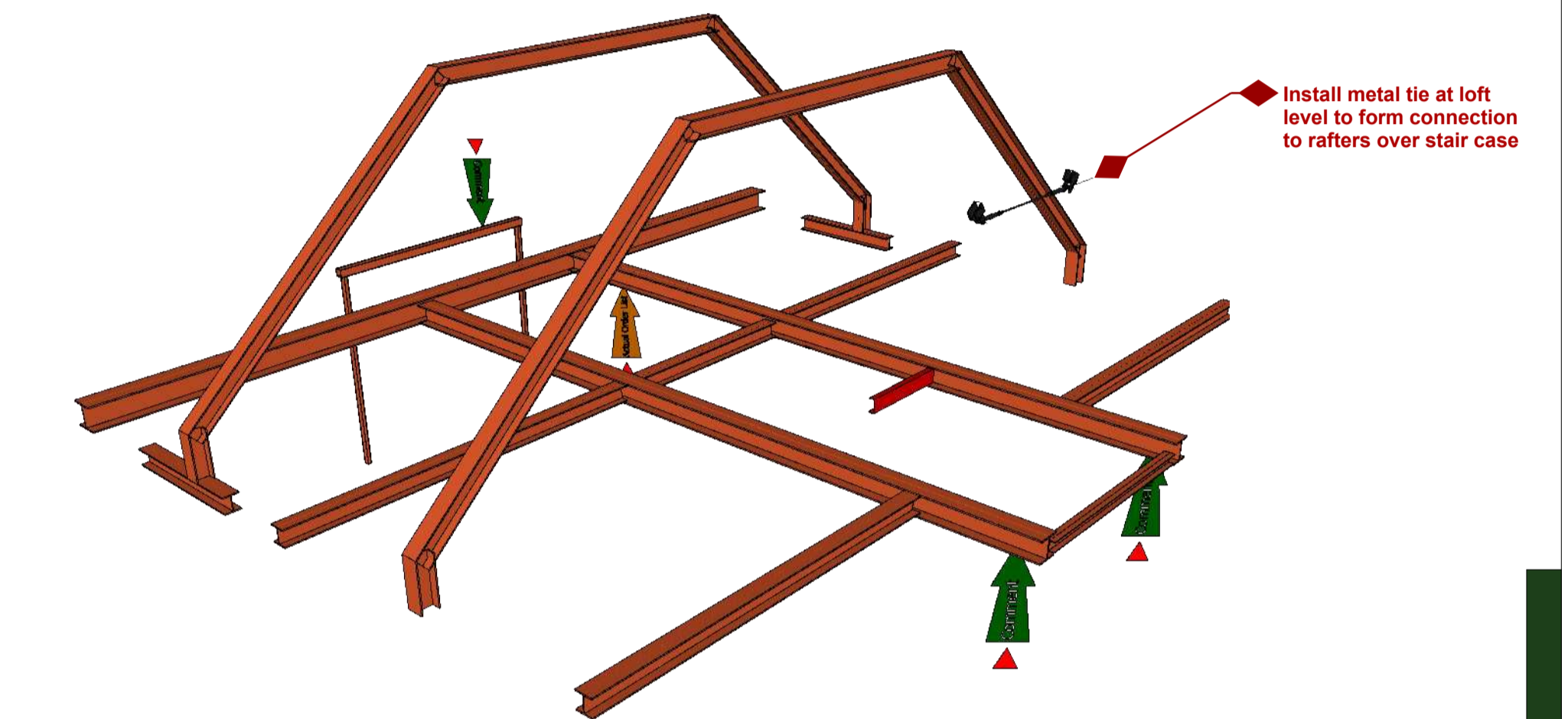
PROPOSED SECOND FLOOR STRUCTURAL PLAN scale: 1:50



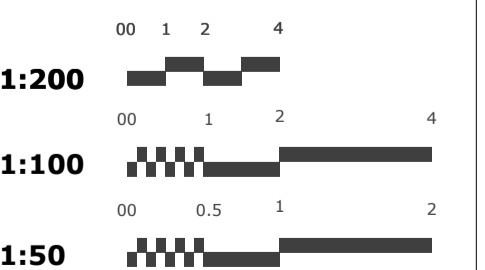
All multiple joists and trimmers to be bolted at 600mm c/c with M12 bolts set in a chevron pattern



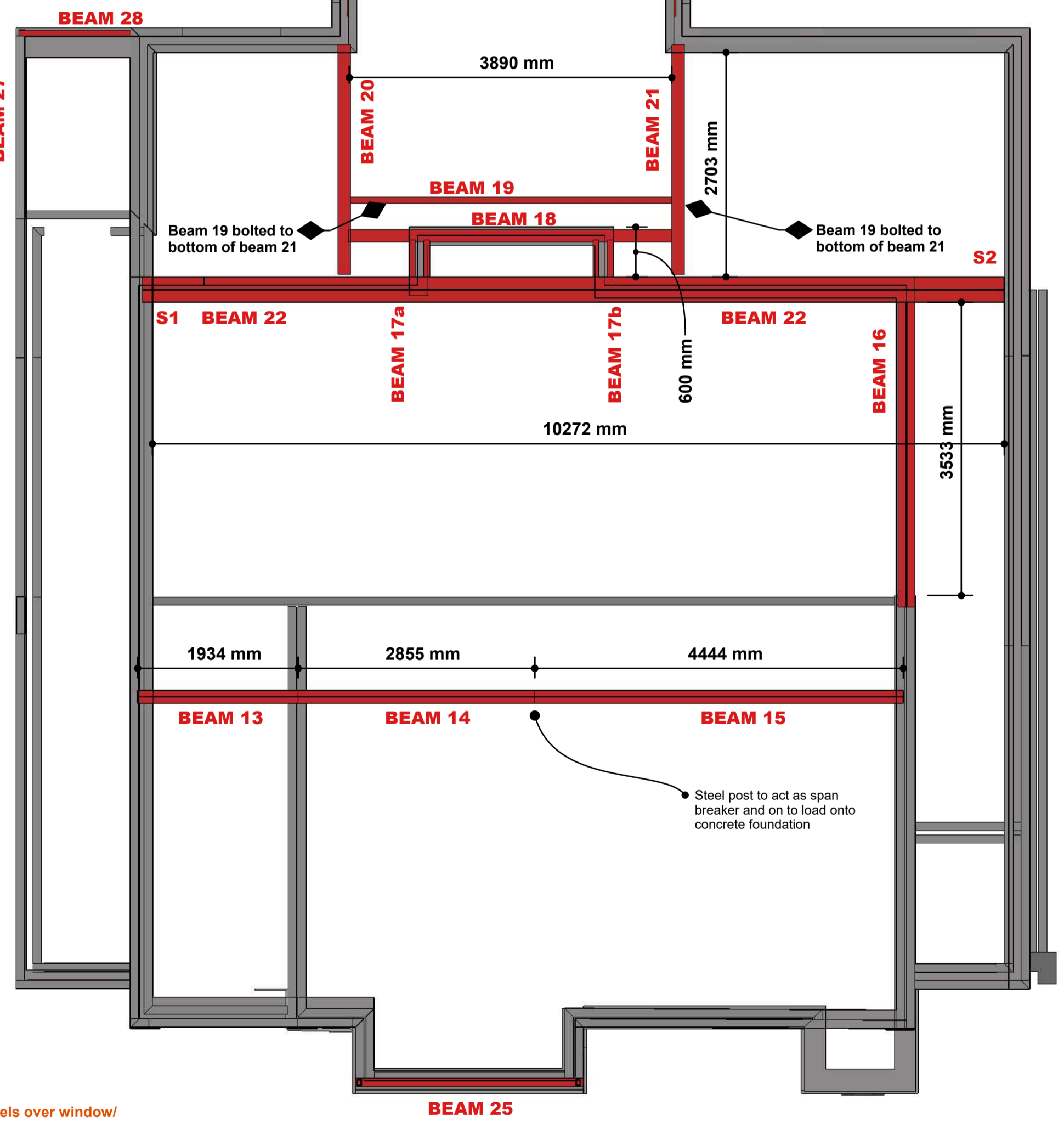
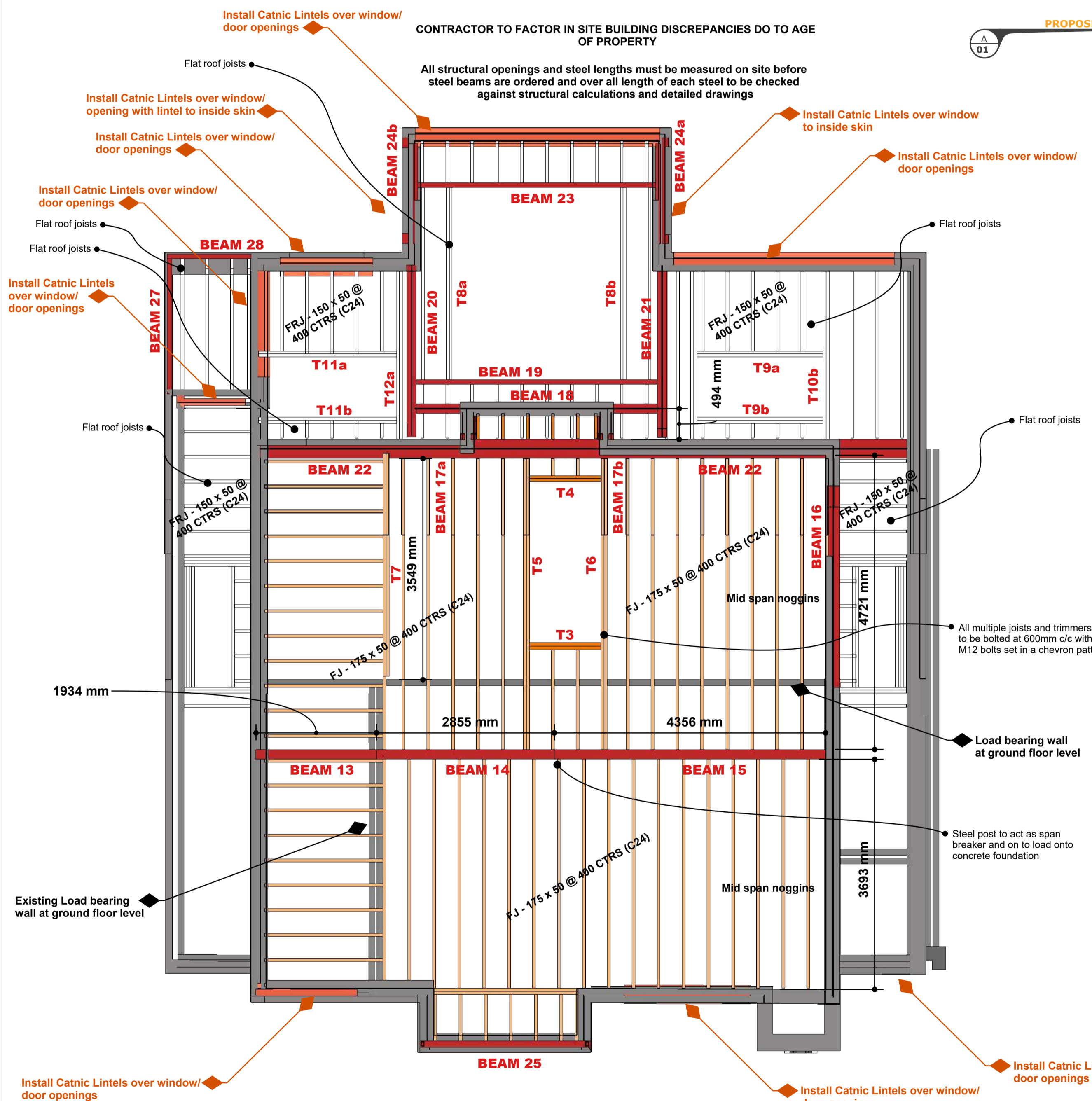
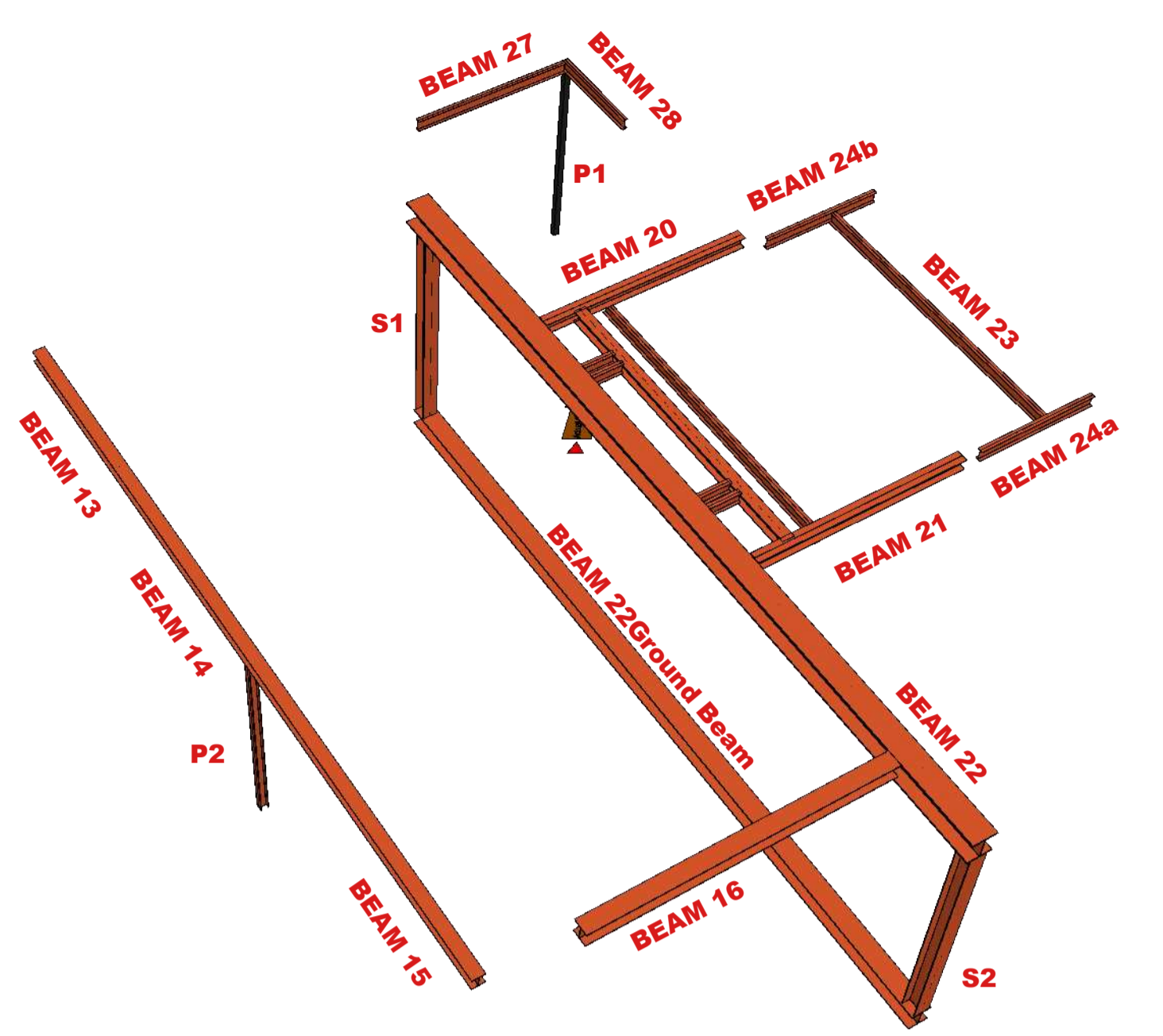
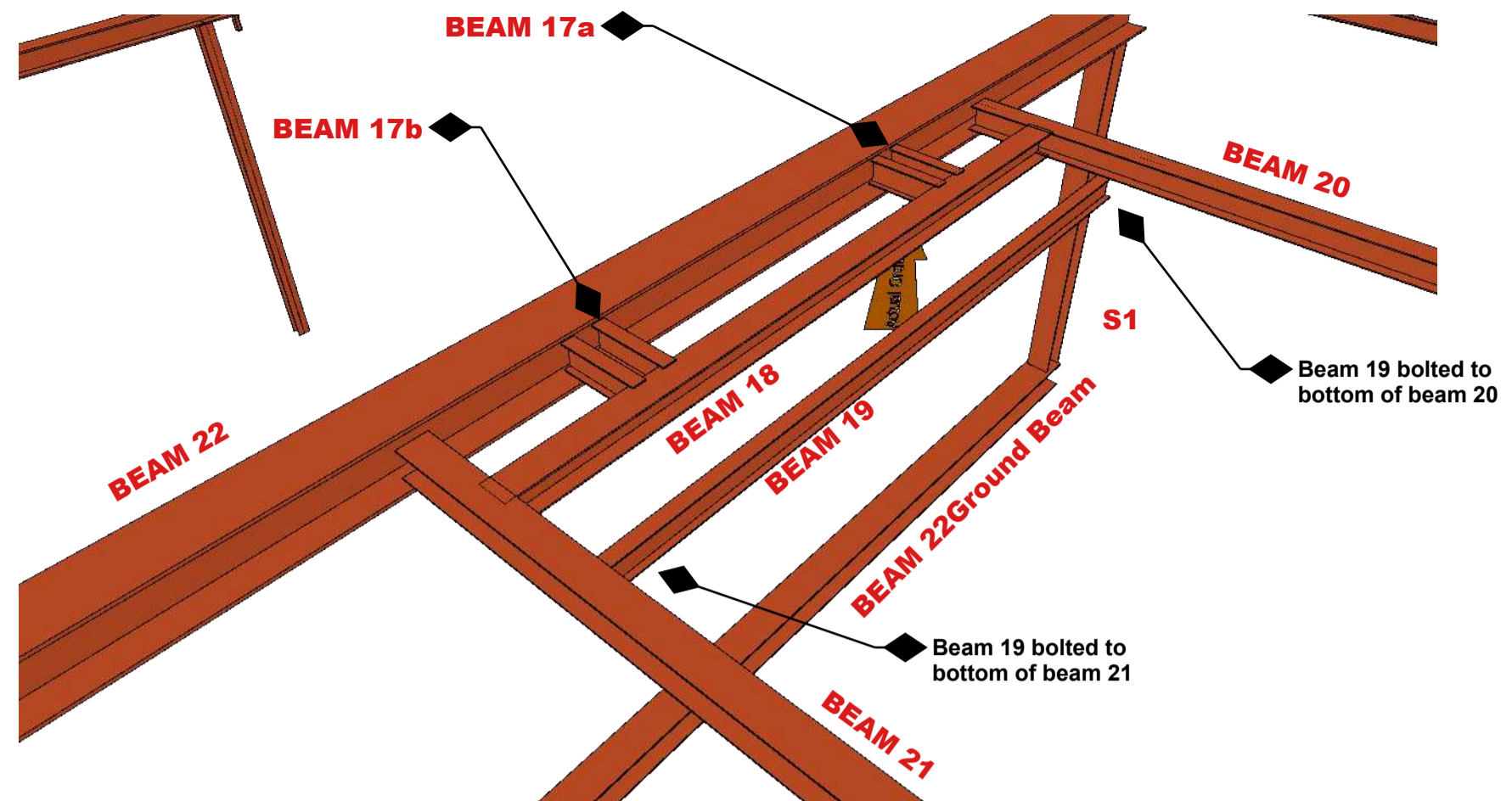
PROPOSED PERSPECTIVE scale: 1:50



COORDINATION	
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CONTRACTOR TO FACTOR IN SITE BUILDING DISCREPANCIES DO TO AGE OF PROPERTY

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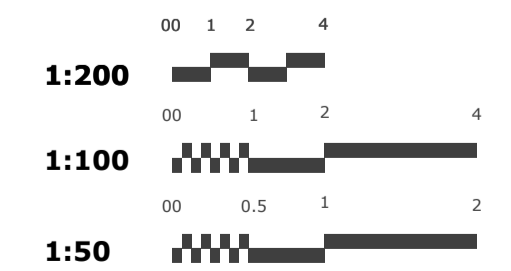
PROPOSED PERSPECTIVE  
scale: 1:50

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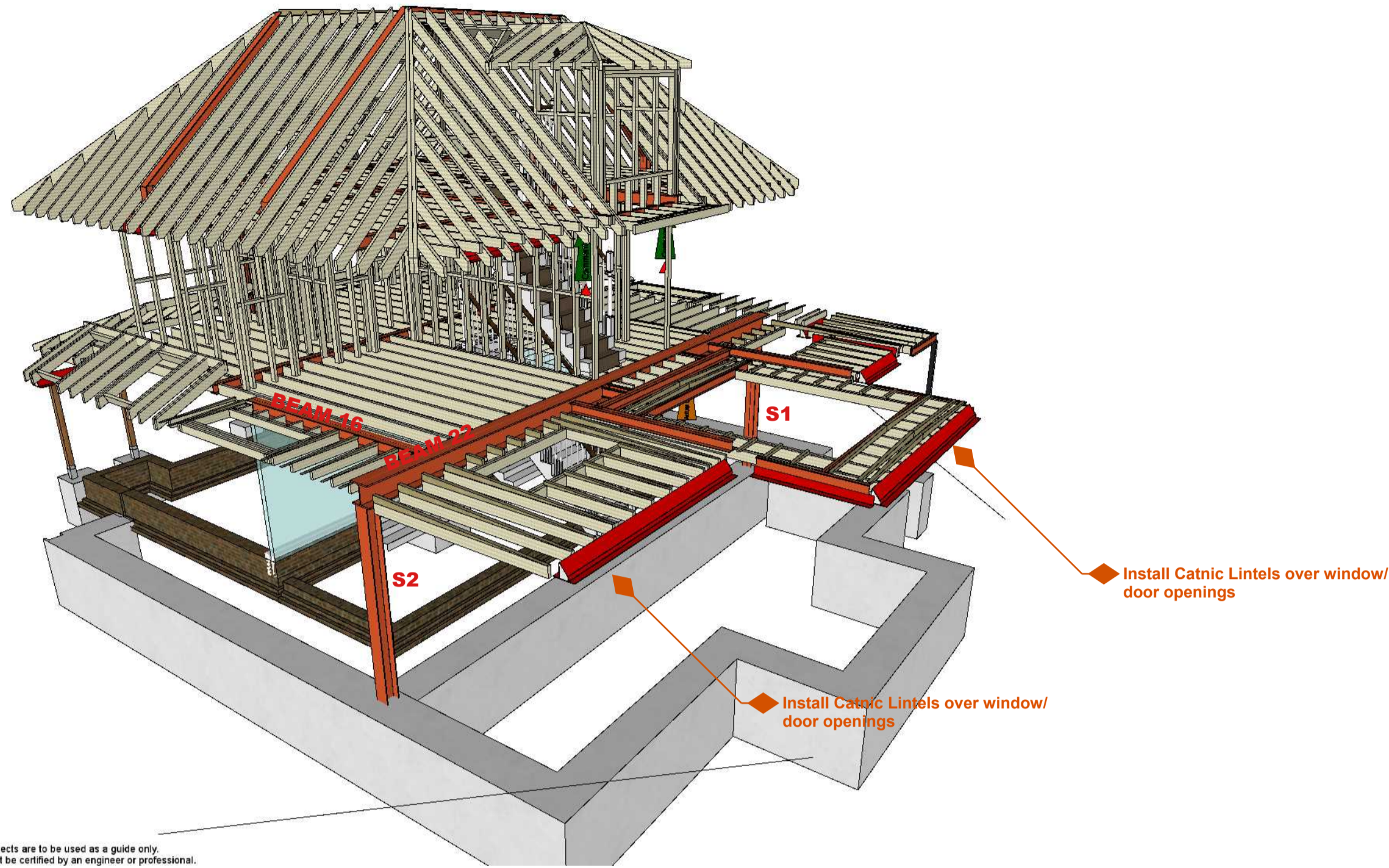
PROPOSED FIRST FLOOR STRUCTURAL PLAN  
scale: 1:50

PROPOSED GROUND FLOOR STRUCTURAL PLAN  
scale: 1:50

COORDINATION	
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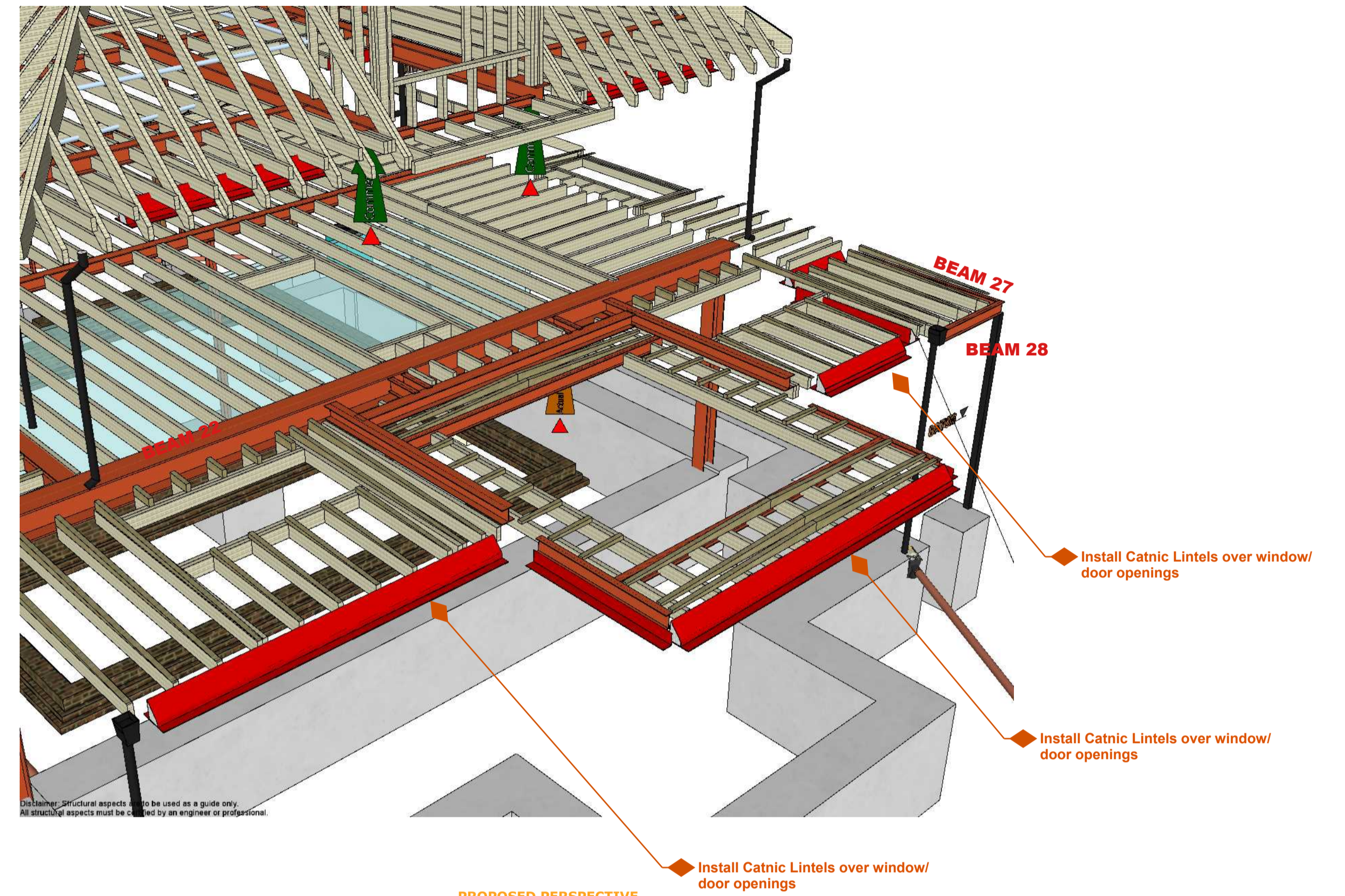


Y-DATUM



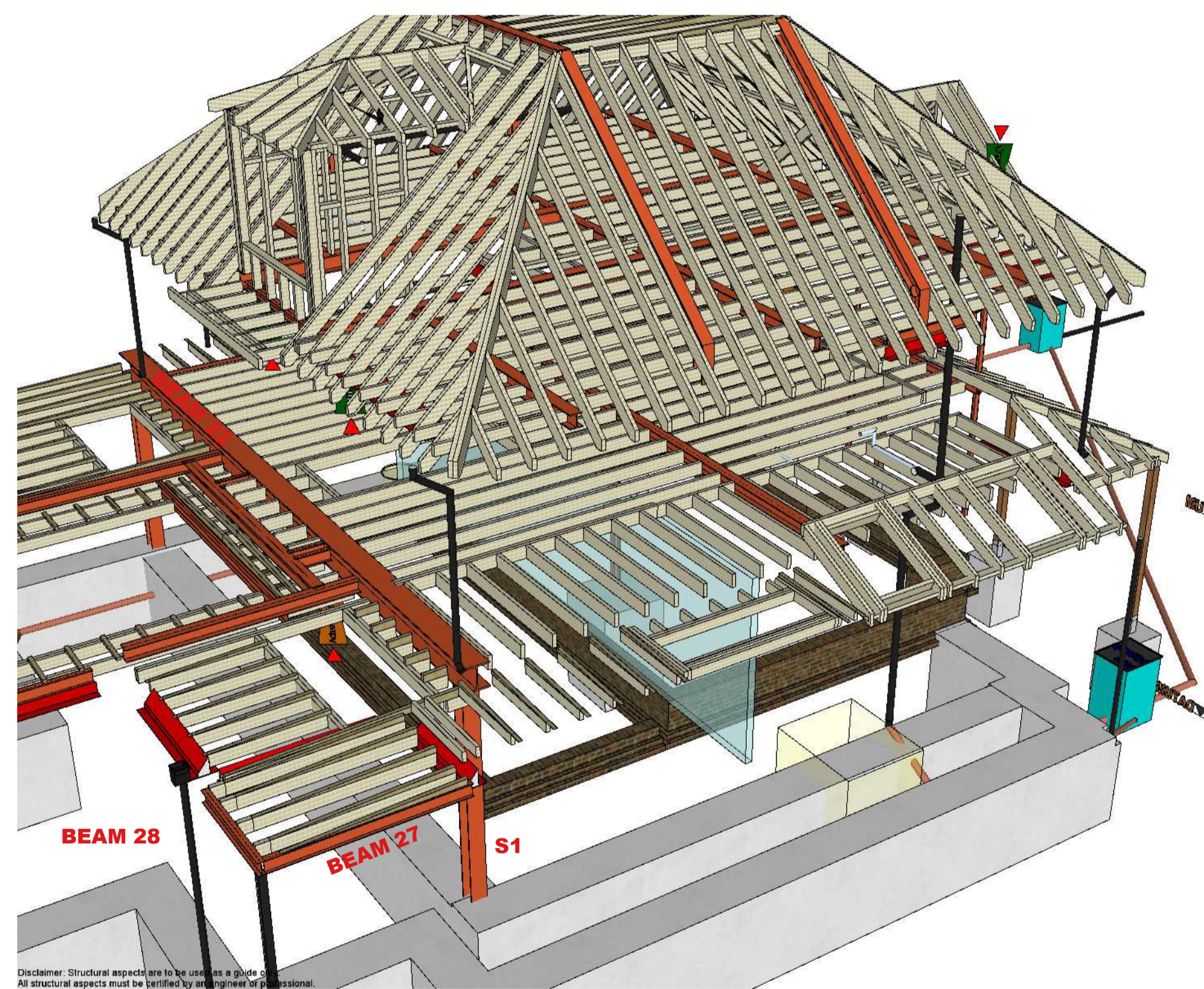
Disclaimer: Structural aspects are to be used as a guide only. All structural aspects must be certified by an engineer or professional.

PROPOSED PERSPECTIVE  
scale: 1:50



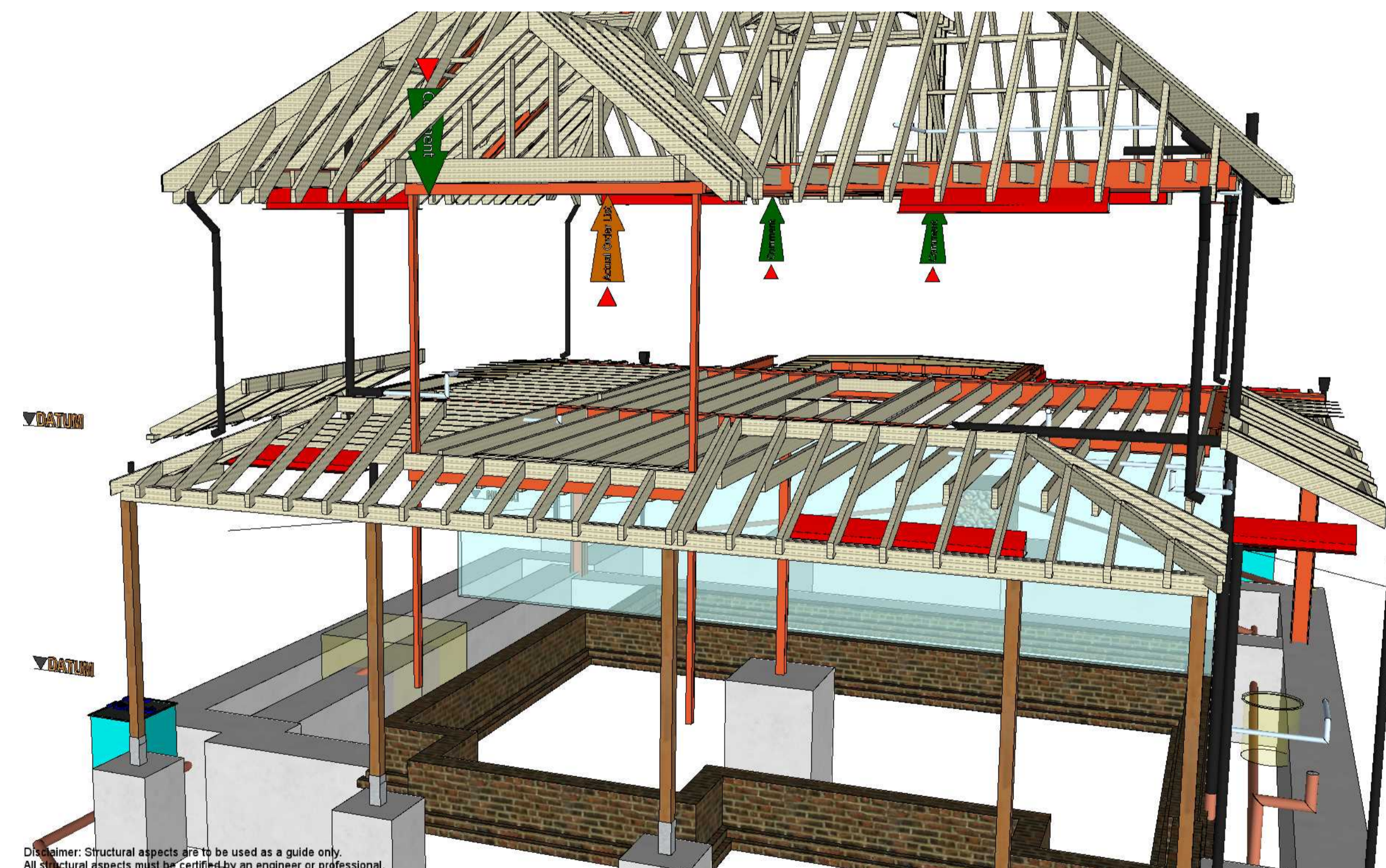
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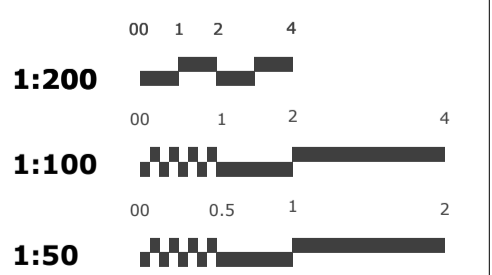


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COORDINATION

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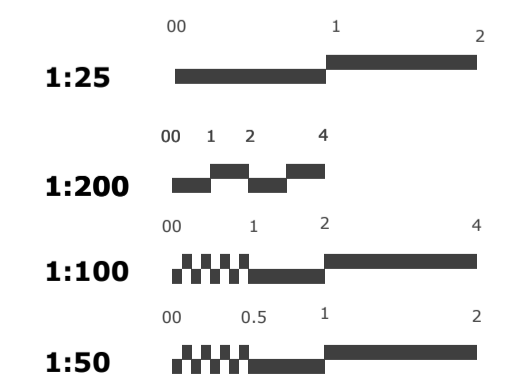


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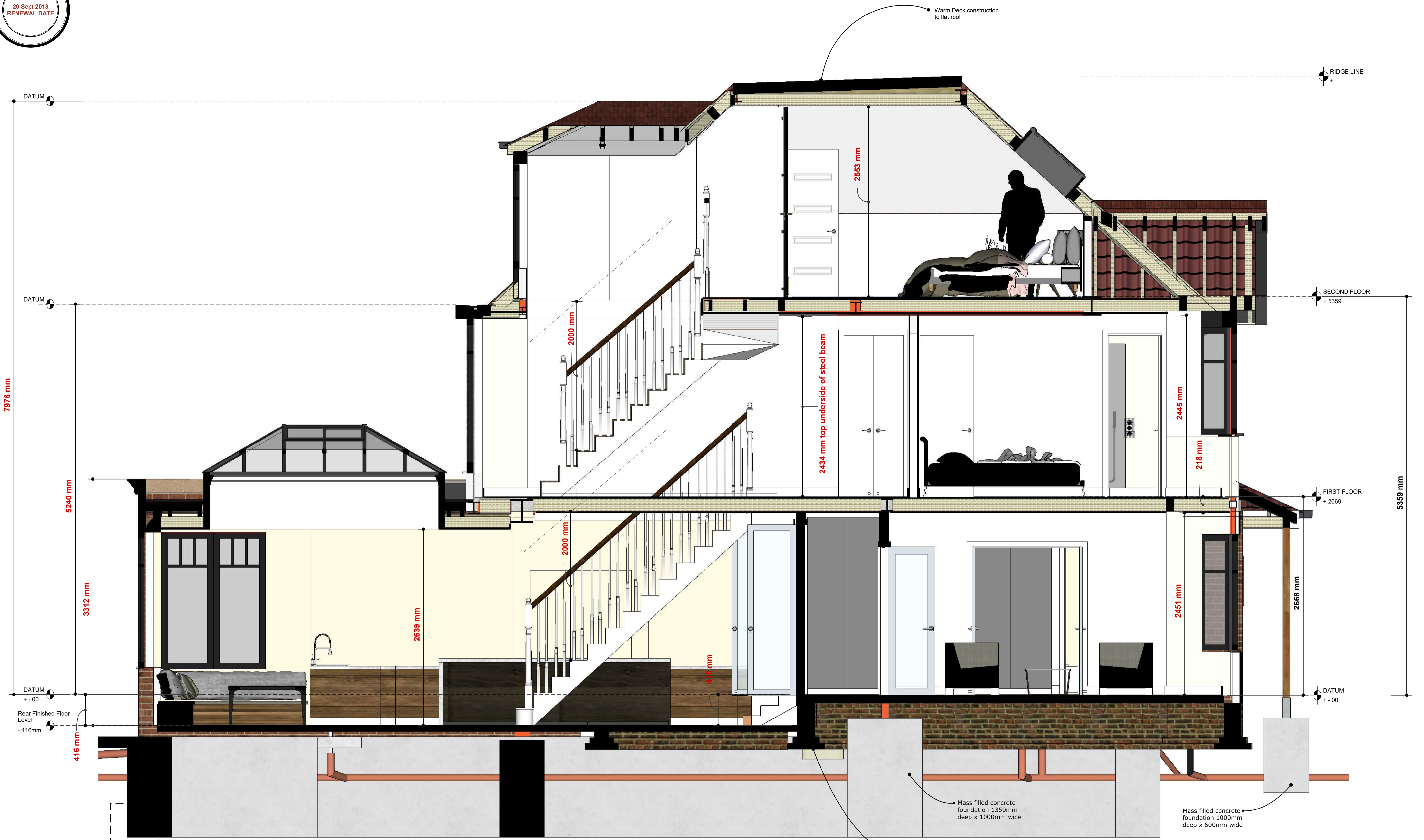


GREAT WEST DESIGN

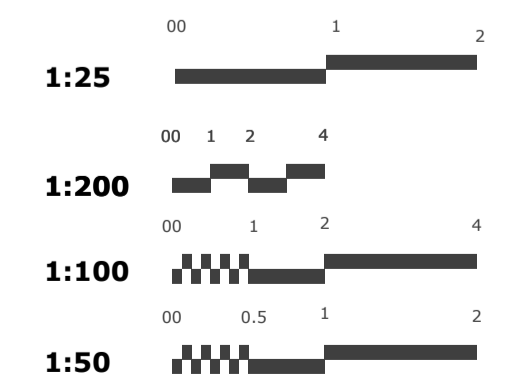
COORDINATION	
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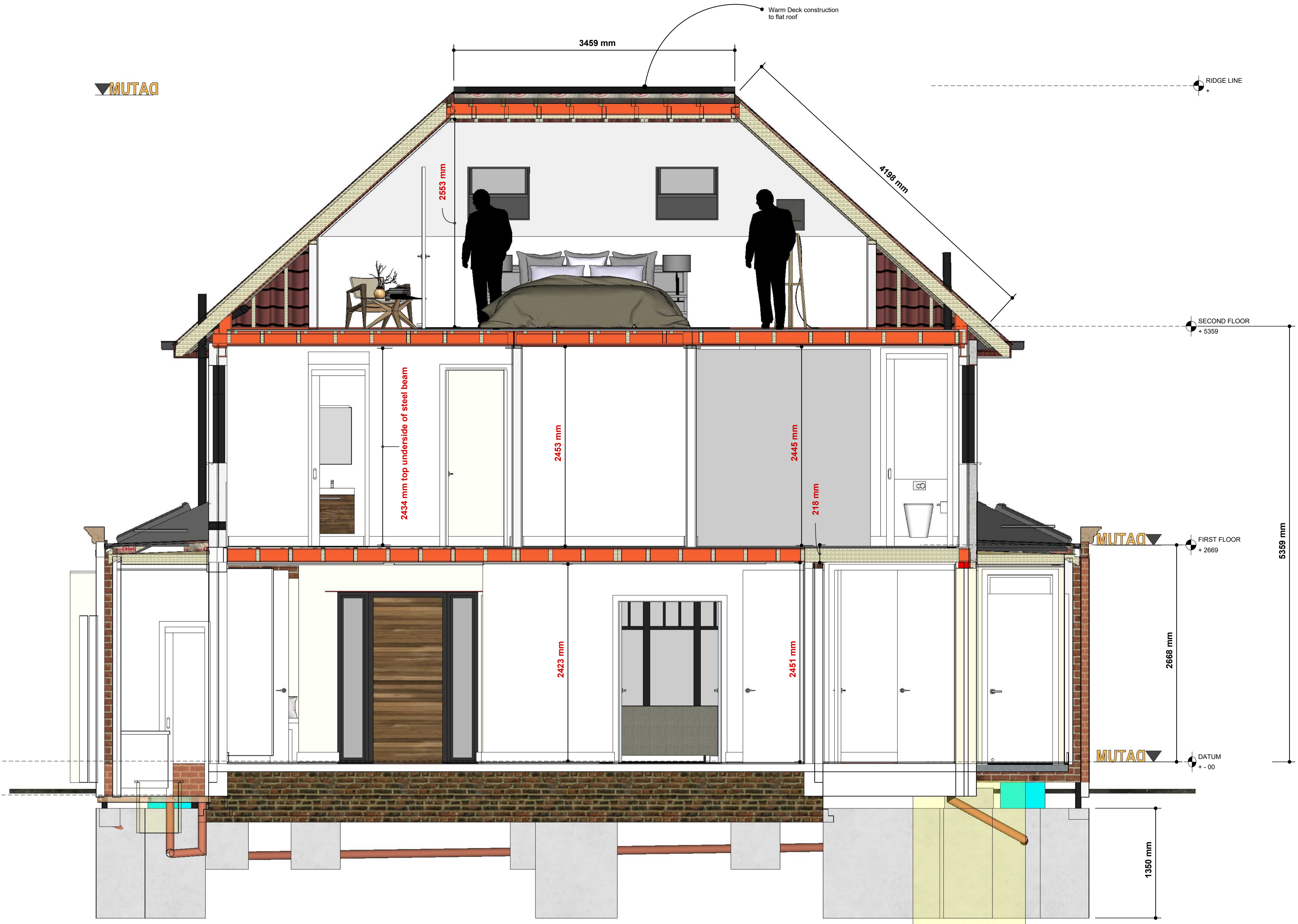
**PROPOSED SECTION B-B**  
scale: 1:50  
Contractor to install new 100mm 7.3KN block wall and this to be built on top of existing foundation. Wall to be off set from center of foundation. If foundation is not of good quality or if new wall does not sit on top of existing foundation then contractor to install new 600mm wide x 1350mm deep foundation



COORDINATION	
<input type="checkbox"/> Preliminary Design	<input type="checkbox"/> Building Upgrade
<input type="checkbox"/> Planning Submitted	<input type="checkbox"/> Building Control Sign off
<input type="checkbox"/> Planning Granted	<input type="checkbox"/> Thames Water

20 Sept 2018  
RENEWAL DATE

MUTAQ



DATUM  
+.00  
Rear Finished Floor  
Level  
-416mm

RIDGE LINE

SECOND FLOOR  
+5359

FIRST FLOOR  
+2669

DATUM  
+.00

PROPOSED SECTION C-C  
scale: 1:50

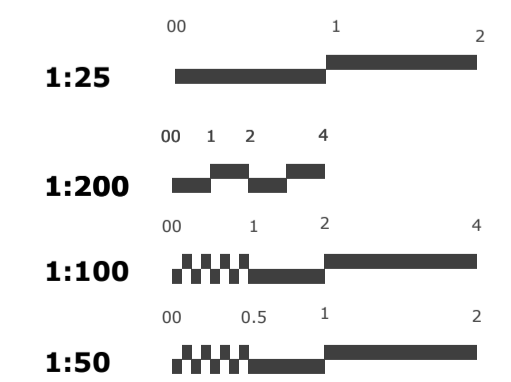
5359 mm

2668 mm

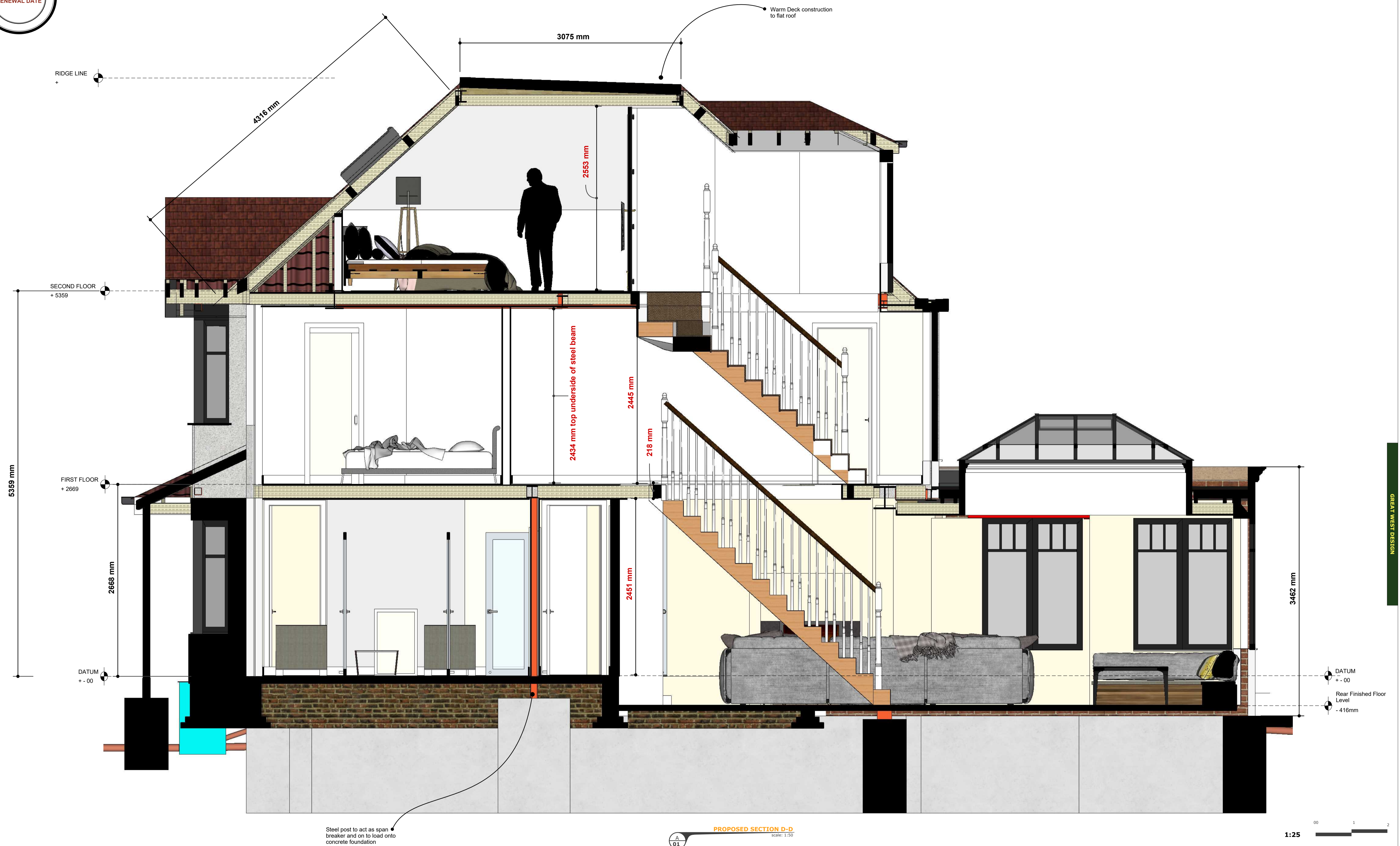
1350 mm

COORDINATION

<span style="color: green;">■</span> Preliminary Design	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Upgrade
<span style="color: green;">■</span> Planning Submitted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Control Sign off
<span style="color: green;">■</span> Planning Granted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Thames Water

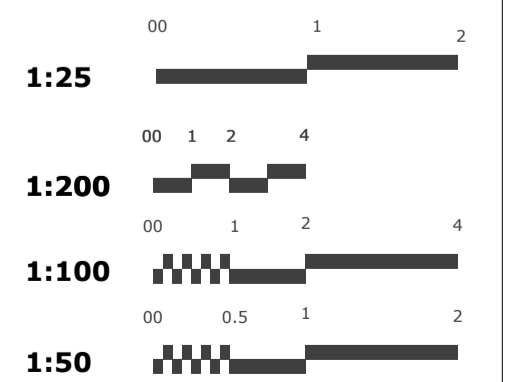


20 Sept 2018  
RENEWAL DATE

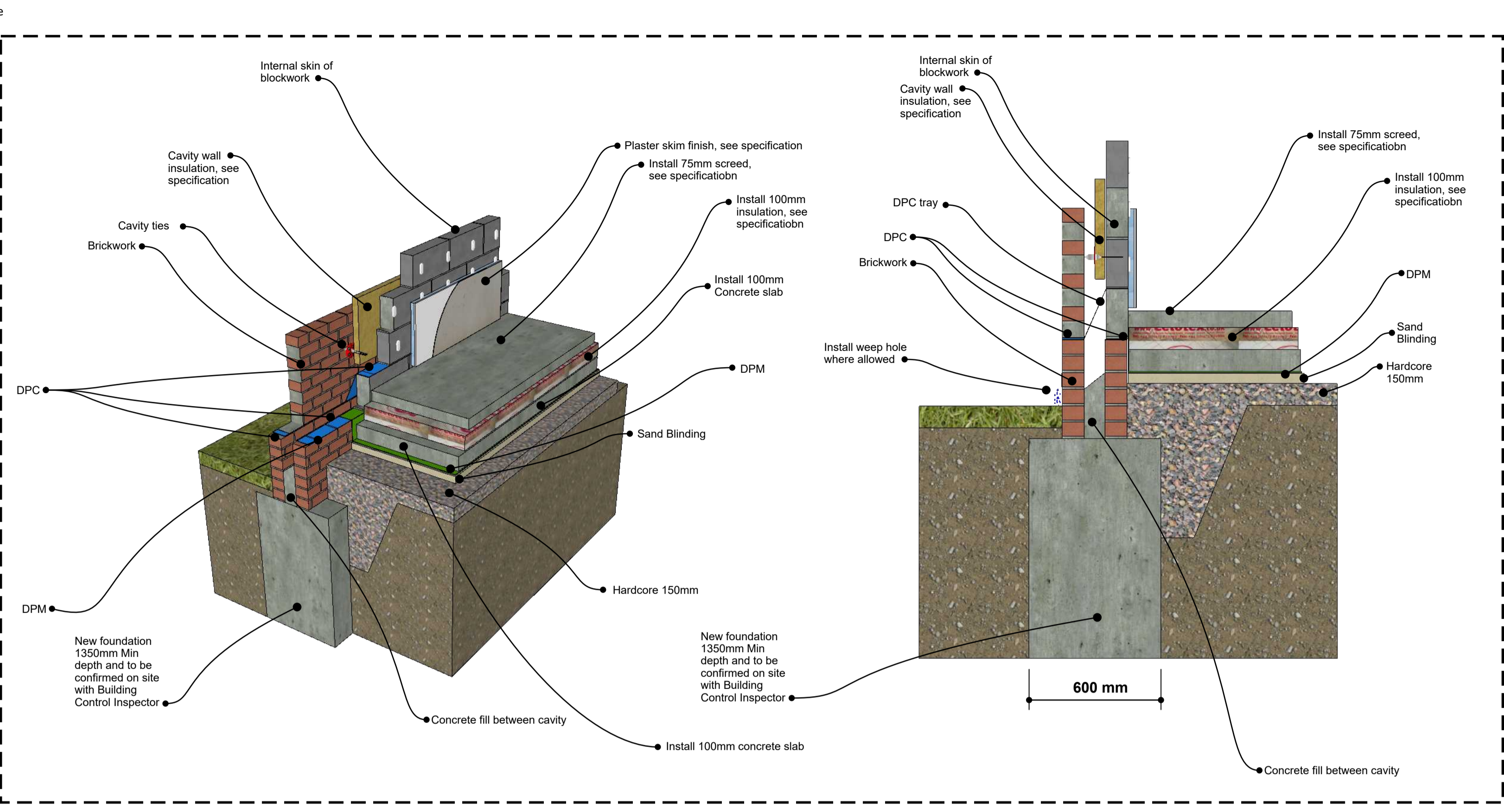
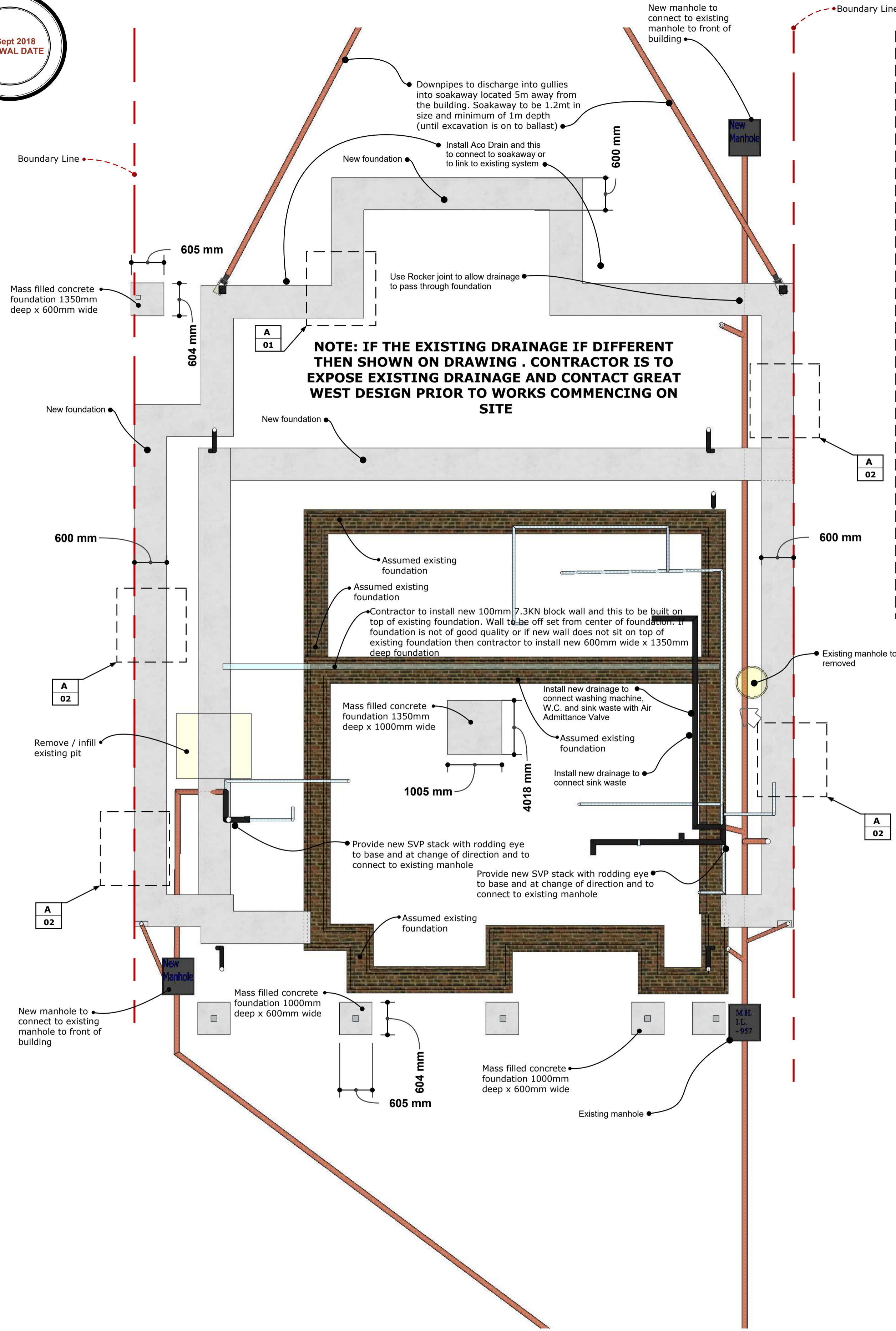


**COORDINATION**

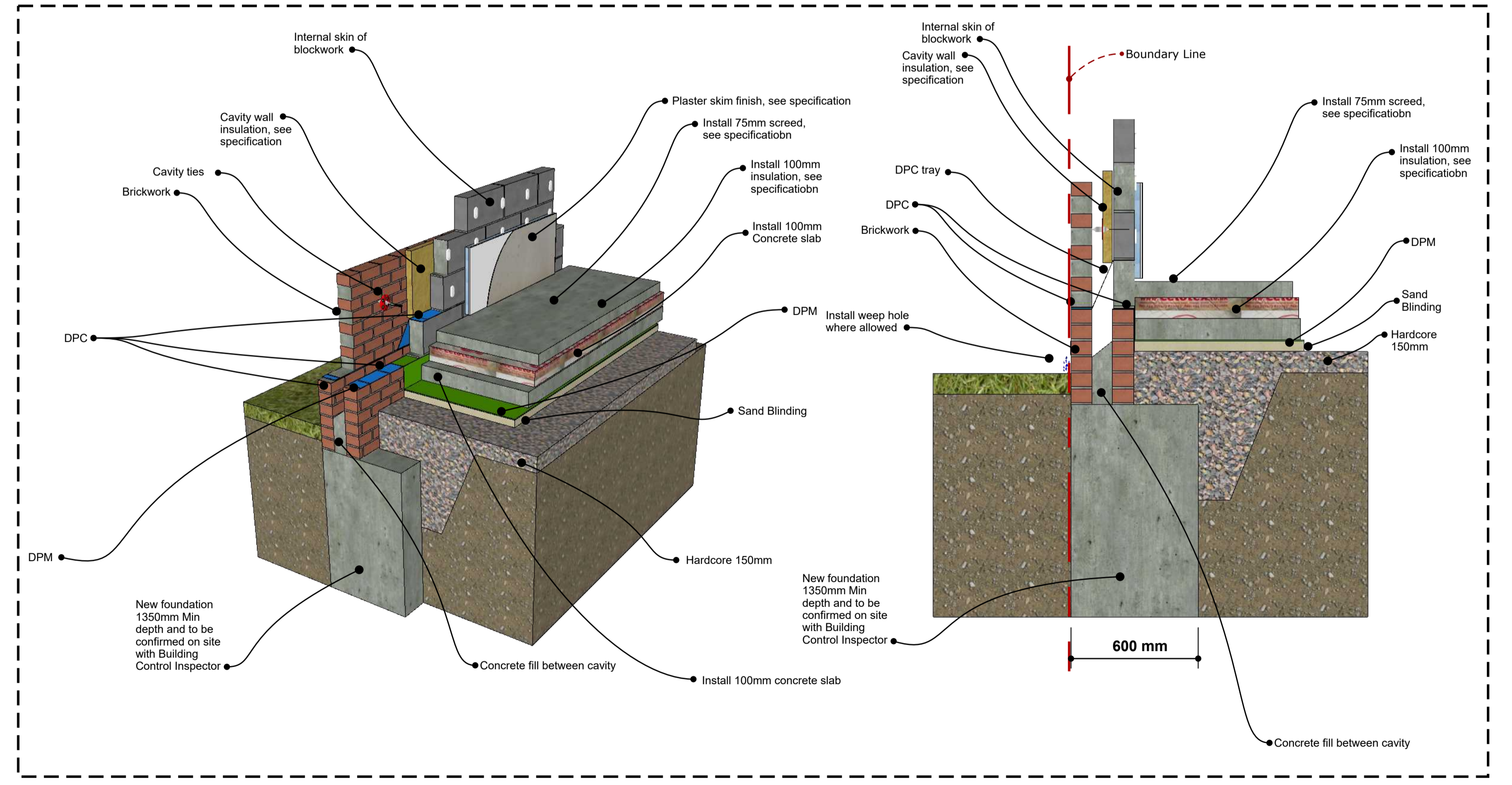
<span style="color: green;">■</span> Preliminary Design	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Upgrade
<span style="color: green;">■</span> Planning Submitted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Control Sign off
<span style="color: green;">■</span> Planning Granted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Thames Water



20 Sept 2018  
RENEWAL DATE



A  
01  
DETAIL  
scale: NOT TO SCALE

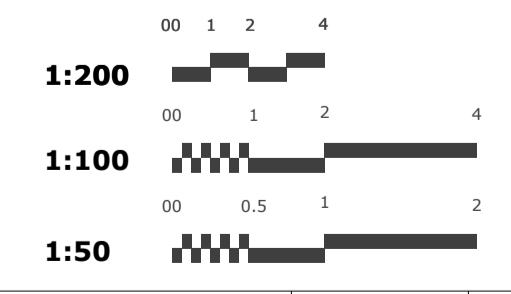


A  
02  
DETAIL  
scale: NOT TO SCALE

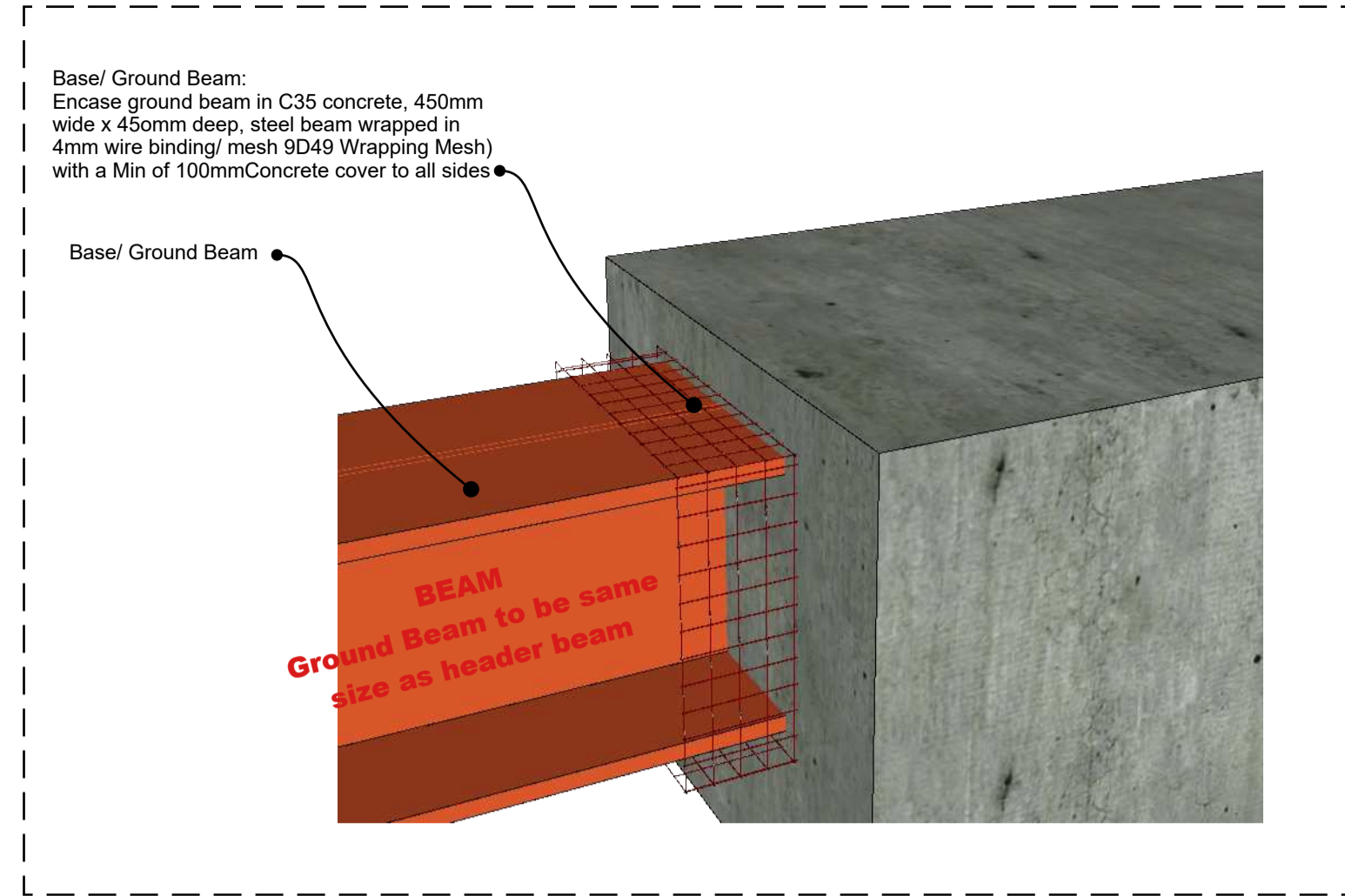
COORDINATION

<span style="color: green;">■</span> Preliminary Design	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Upgrade
<span style="color: green;">■</span> Planning Submitted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Building Control Sign off
<span style="color: green;">■</span> Planning Granted	<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Thames Water

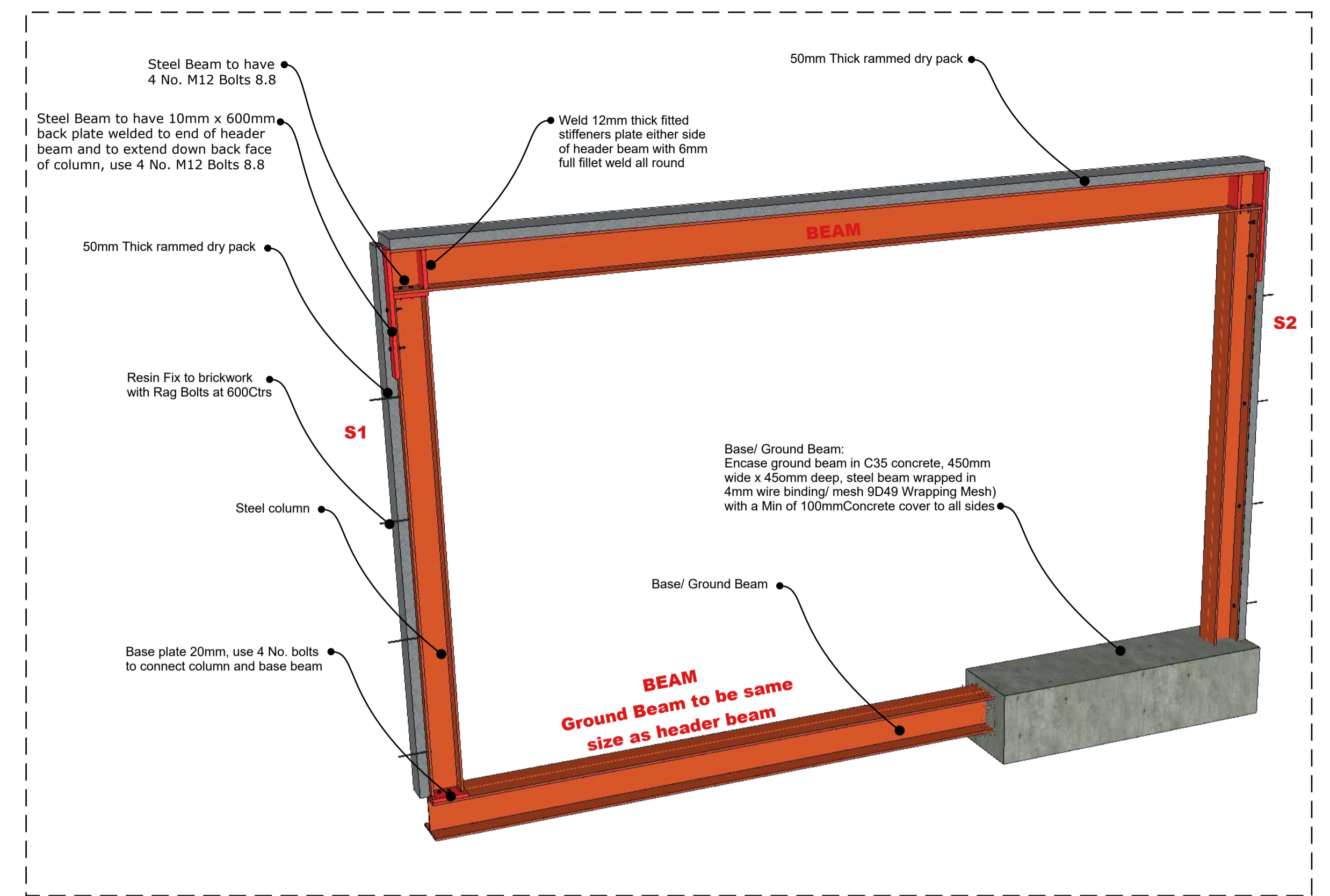
PROPOSED FOUNDATION/ DRAINAGE  
scale: 1:50



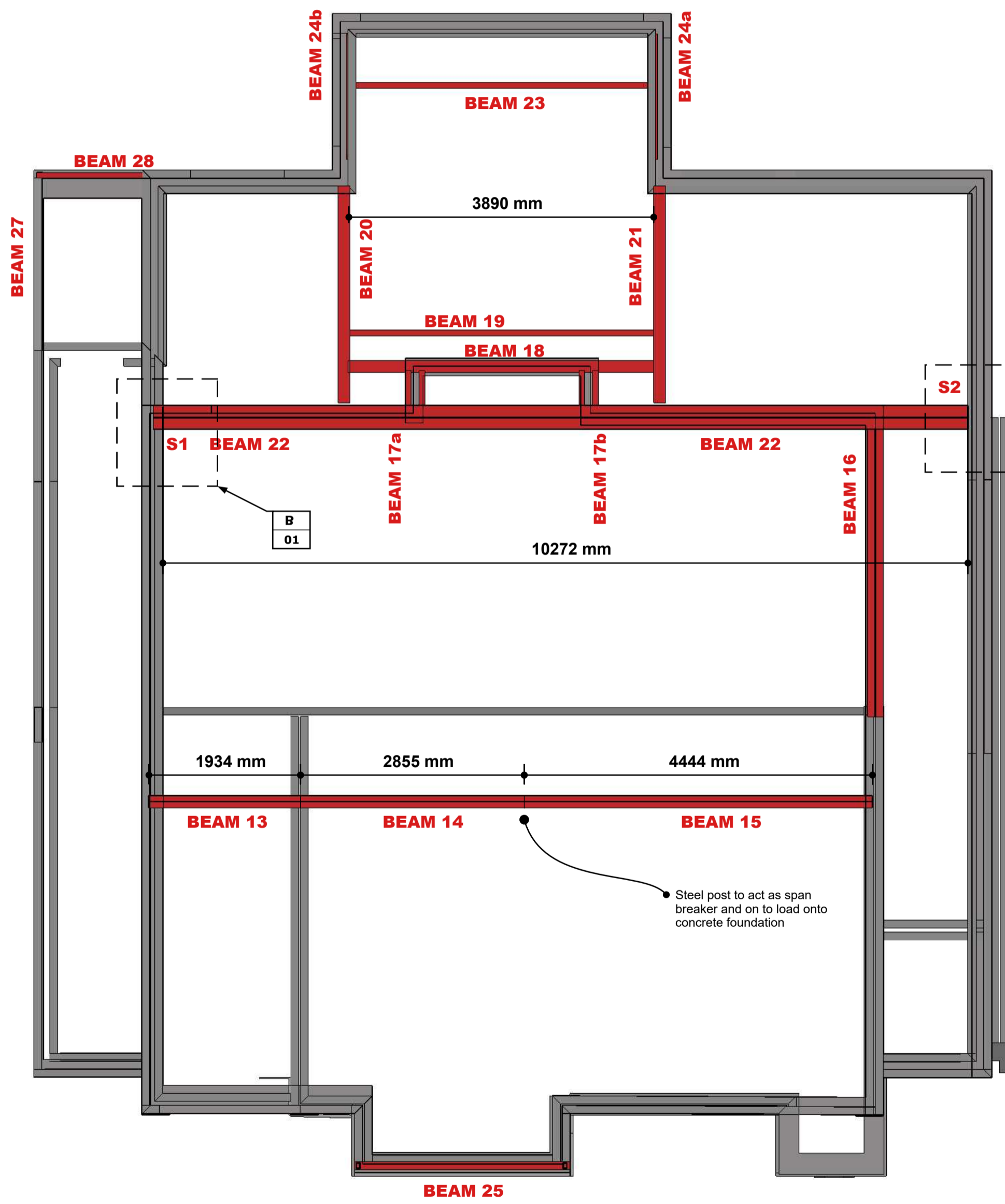
GREAT WEST DESIGN



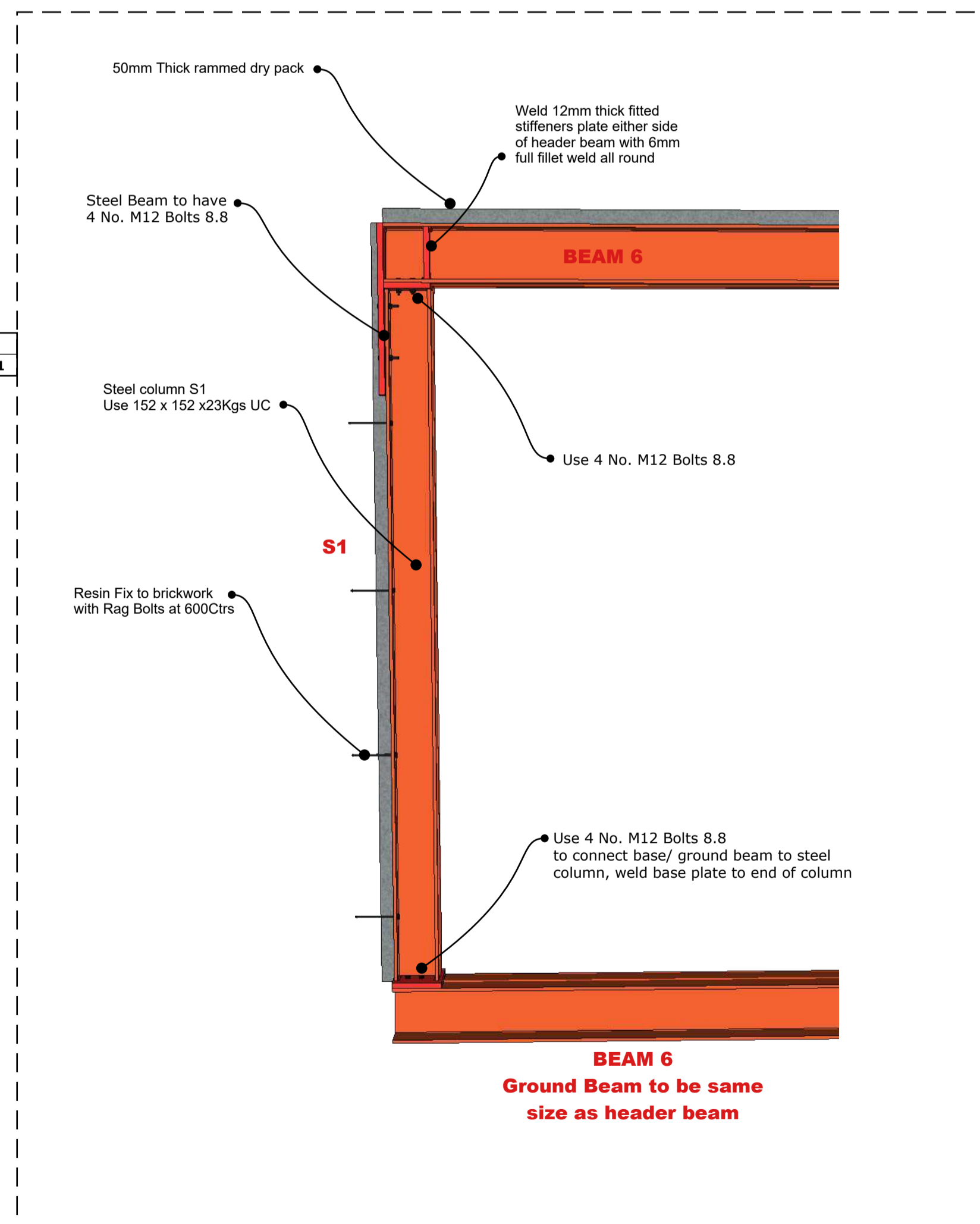
B DETAIL  
01 scale: NOT TO SCALE



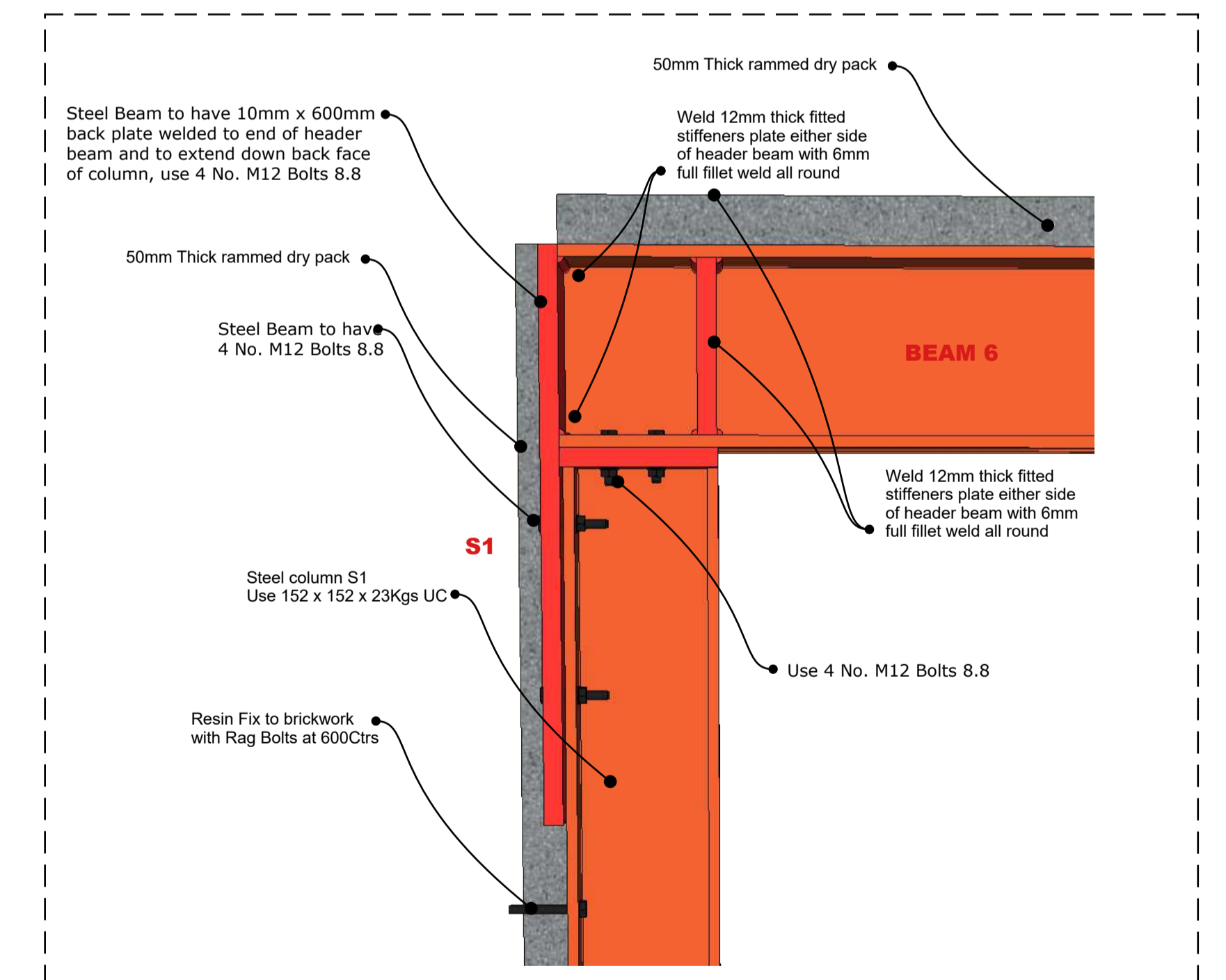
B DETAIL  
01 scale: NOT TO SCALE



PROPOSED GROUND FLOOR  
STRUCTURAL PLAN  
scale: 1:50



B DETAIL  
01 scale: NOT TO SCALE



B DETAIL  
01 scale: NOT TO SCALE

COORDINATION

<span style="color: green;">■</span> Preliminary Design	<span style="border: 1px solid black; padding: 2px;"> </span> Building Upgrade
<span style="color: green;">■</span> Planning Submitted	<span style="border: 1px solid black; padding: 2px;"> </span> Building Control Sign off
<span style="color: green;">■</span> Planning Granted	<span style="border: 1px solid black; padding: 2px;"> </span> Thames Water

